




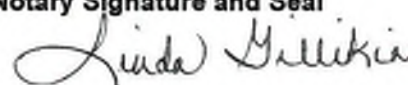
# Planning & Development

## Development Services Customer Service Center

One Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
Fax 919-516-2685

### Administrative Alternate

| Administrative Alternate Request   | OFFICE USE ONLY           |
|--|---------------------------|
| <b>Section(s) of UDO affected:</b><br><br>Build-To and Transparency<br><b>Provide an explanation of the alternate requested, along with an applicant's statement of the findings</b><br><br><b>Provide all associated case plan numbers including zoning and site plan:</b><br>Concurrent Review #538814 | <b>Transaction Number</b> |

| GENERAL INFORMATION   |  |  |
|---|--|--|
| <b>Property Address</b> 6308 Falls of Neuse Road  |  | <b>Date</b> 08/22/2017   |
| <b>Property PIN</b> 1717213495  | <b>Current Zoning</b> OX-3-PL  |  |
| <b>Nearest Intersection</b> Falls of Neuse Road & Bullard Court   |  | <b>Property size (in acres)</b><br>0.57 ac                         |
| <b>Property Owner</b> Alton Smith B Jr. Martial Trust   | <b>Phone</b>   | <b>Mail</b> 1900 Cameron St<br>Raleigh NC 27605                    |
|   | <b>Email</b> asmith1625@earthlink.net  |  |
| <b>Project Contact Person</b> Alvin Mendoza   | <b>Phone</b> 4045071040  | <b>Mail</b> 999 Peachtree St NE,<br>Suite 1400<br>Atlanta GA 30309 |
|   | <b>Email</b> alvin_mendoza@gensler.com   |  |
| <b>Property Owner Signature</b>  | <b>Email</b> asmith1625@earthlink.net  |  |
| <b>Notary</b><br><br>Sworn and subscribed before me this <u>22<sup>nd</sup></u> day of <u>August</u> , 20 <u>17</u> | <b>Notary Signature and Seal</b><br> |  |

Linda Gillikin  
NOTARY PUBLIC  
Wake County, NC  
My Commission Expires December 22, 2019



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## Administrative Alternate Checklist

| TO BE COMPLETED BY APPLICANT          |  | YES | N/A |
|---------------------------------------|--|-----|-----|
| ADMINISTRATIVE ALTERNATE REQUIREMENTS |  |     |     |
| 1.                                    | The property owner must be the applicant.  |     |     |
| 2.                                    | An application, signed by the property owner and notarized to that effect, is required.  |     |     |
| 3.                                    | The applicant must submit stamped envelopes addressed to the property owners within 100 feet of the subject property as indicated in Chapter 10.2 of the Unified Development Ordinance. City staff will mail the public hearing notices.   |     |     |
| 4.                                    | The applicant shall submit pertinent material necessary for review of the alternate; in addition to the submittal material required for a subdivision, plot plan or site plan. This may include architectural renderings, materials samples or other project-specific information. |     |     |





# SUTTON SQUARE

COURTESY REVIEW  
11/09/2017

6308 Falls of Neuse Road  
Raleigh, NC 27615

**SUNTRUST BANKS**  
303 Peachtree Center Drive  
Suite 175  
Atlanta, GA 30303

Lincoln Harris  
**FACILITY PARTNER**  
Bob Hoak  
4350 Congress St.  
Suite 175  
Charlotte, NC 28209  
Tel 704.390.5215

## Gensler

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**Satellite Office**  
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Infinity Engineering Group  
**CIVIL**  
1208 E. Kennedy Blvd., Suite 230  
Tampa, Florida 33602  
Tel 813.434.4770  
Fax 813.445.4211

CJL Engineering  
**MEP**  
232 Horner Street  
Johnstown, PA 15902  
Tel 814.536.1651  
Fax 814.536.5732

Foresite Group  
**STRUCTURAL**  
5185 Peachtree Parkway  
Suite 240  
Norcross, GA 30092  
Tel 770.368.1399  
Fax 770.368.1944



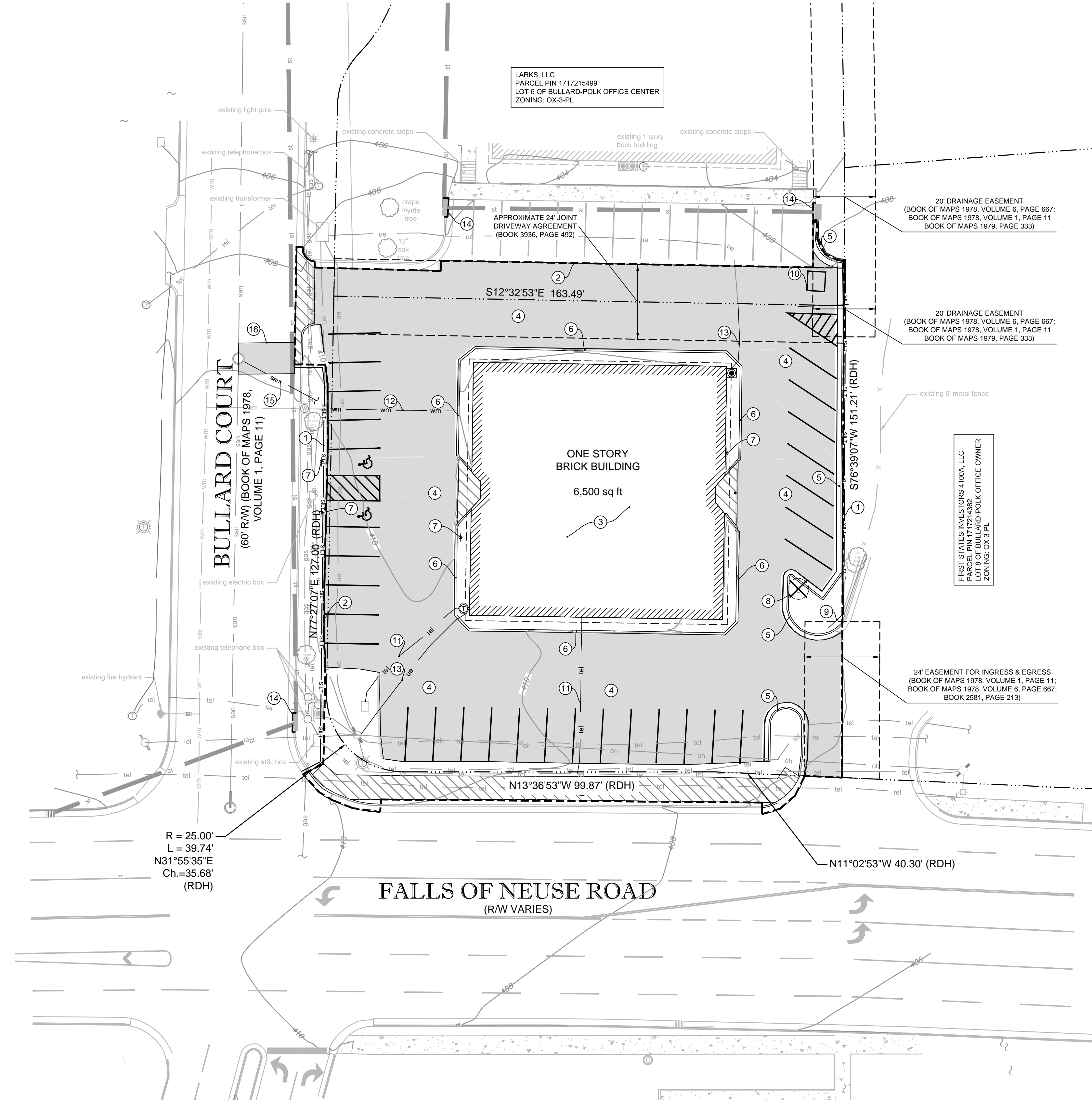
SUTTON SQUARE





SUTTON SQUARE

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### DEMOLITION NOTES

1. CONTRACTOR TO DEMOLISH AND REMOVE ALL IMPROVEMENTS WITHIN LIMITS OF DEMOLITION SHOWN UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
3. ALL ABOVE AND BELOW GROUND HARDWARE, EQUIPMENT AND MATERIALS TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL MUNICIPALITY REQUIREMENTS.
4. EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM ALTA/NSPS LAND TITLE SURVEY PREPARED BY TRAVIS PRUITT & ASSOCIATES, INC., DATED 12/21/2016.
5. UTILITIES TO BE PLUGGED SHALL BE FILLED WITH A MINIMUM 1.0 CUBIC FT. OF NON SHRINK GROUT OR AS OTHERWISE APPROVED BY ENGINEER.
6. TREES SHOWN TO REMAIN SHALL MAINTAIN PROTECTIVE BARRIERS DURING DEMOLITION. THESE BARRIERS SHALL BE IN ACCORDANCE WITH CURRENT LOCAL MUNICIPALITY STANDARDS.
7. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING UTILITIES WITH THE OWNER OF SAID UTILITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO WATER, SEWER, GAS, CABLE TV, POWER AND TELEPHONE.
8. THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION, SEE "EROSION & SEDIMENT CONTROL DETAILS"
9. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
10. ALL DISTURBED AREA WITH THE RIGHT OF WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED.

### SITE CLEARING NOTE

PRIOR TO ANY CONSTRUCTION, THE SITE MUST BE PROPERLY PREPARED. TO PREPARE THE SITE FOR CONSTRUCTION, ALL EXISTING TOPSOIL, MUCK, DEBRIS, VEGETATION, AND LARGE ROOTS DOWN TO FINGER-SIZE SHOULD BE REMOVED, INCLUDING A 5-FOOT MARGIN IN A HORIZONTAL DIRECTION AWAY FROM THE FOOTPRINTS OF THE STRUCTURES. THE RESULTING EXCAVATIONS SHOULD BE BACKFILLED WITH SOILS PER STRUCTURAL FILL SPECIFICATIONS LOCATED IN THE GEOTECHNICAL REPORT.

### LEGEND

- CONCRETE SIDEWALK TO BE SAWCUT AND REMOVED
- ASPHALT PAVEMENT TO BE REMOVED
- EXISTING CONCRETE TO REMAIN
- PROPERTY LINE
- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- LIMITS OF DEMOLITION
- EROSION CONTROL
- EXISTING TREE TO BE REMOVED
- EXISTING GAS
- EXISTING SANITARY
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD LINE
- EXISTING WATER

### DEMOLITION KEYED NOTES

| ITEM | DESCRIPTION  |
|------|--|
| 1    | EROSION CONTROL  |
| 2    | LIMITS OF DEMOLITION   |
| 3    | EXISTING BUILDING AND ASSOCIATED UTILITIES TO BE REMOVED. CONTRACTOR TO COORDINATE WITH ALL UTILITY PROVIDERS.   |
| 4    | EXISTING ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED (AREAS OF PROPOSED LANDSCAPING, ASPHALT BASE AND SUB-BASE TO BE COMPLETELY REMOVED AND FILLED WITH CLEAN FILL). |
| 5    | EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED  |
| 6    | EXISTING WOOD RETAINING CURB TO BE REMOVED   |
| 7    | EXISTING SIGNAGE TO BE REMOVED   |
| 8    | EXISTING TREE TO BE REMOVED  |
| 9    | EXISTING FENCE (6 LF) TO BE REMOVED  |
| 10   | EXISTING DUMPSTER TO BE REMOVED. CONTRACTOR TO COORDINATE WITH TRASH PROVIDER.   |
| 11   | EXISTING UNDERGROUND TELEPHONE LINES TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY  |
| 12   | EXISTING UNDERGROUND WATER SERVICE TO BE REMOVED, CUT & CAP AT WATER METER (CONTRACTOR TO COORDINATE WITH WATER PROVIDER)  |
| 13   | EXISTING UNDERGROUND POWER TO BE REMOVED. CONTRACTOR TO COORDINATE WITH POWER PROVIDER   |
| 14   | PROPOSED INLET PROTECTION (TYPICAL OF 3)   |
| 15   | EXISTING 3" SANITARY SEWER TO BE REMOVED AND REPLACED WITH 6" SANITARY SEWER SERVICE LINE (SEE UTILITY PLAN)   |
| 16   | EXISTING ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED/REPLACED, SEE UTILITY PLAN FOR LIMITS OF REMOVAL.   |



SUNTRUST - SUTTON SQUARE  
6308 FALLS OF NEUSE ROAD  
RALEIGH, NC 27615

**Gensler**

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NC FIRM CERTIFICATE NO. P-0967

| △ | Date     | Description   |
|---|----------|---------------|
| 1 | 10/02/17 | ISSUE FOR BID |

Seal / Signature

DATE

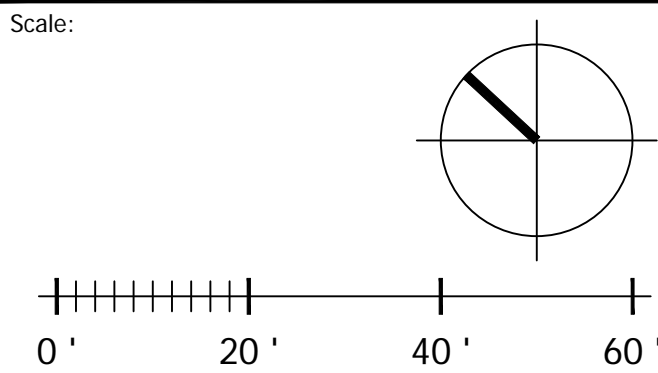
Project Name  
SUNTRUST - SUTTON SQUARE

Project Number  
13.2734.000 / 70.39.00

Scale  
AS INDICATED

Description  
DEMOLITION AND EROSION CONTROL PLAN

C01.01

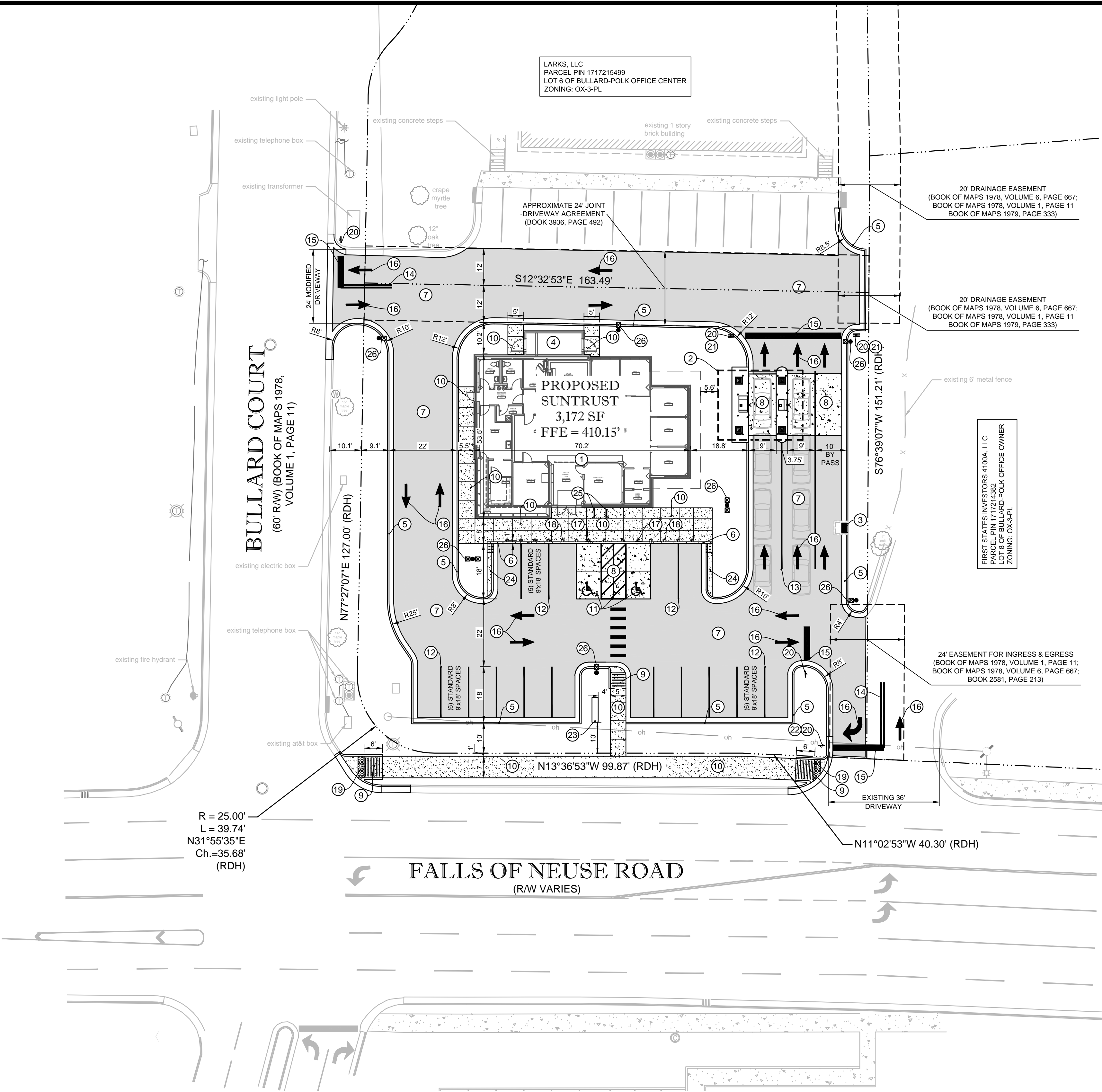




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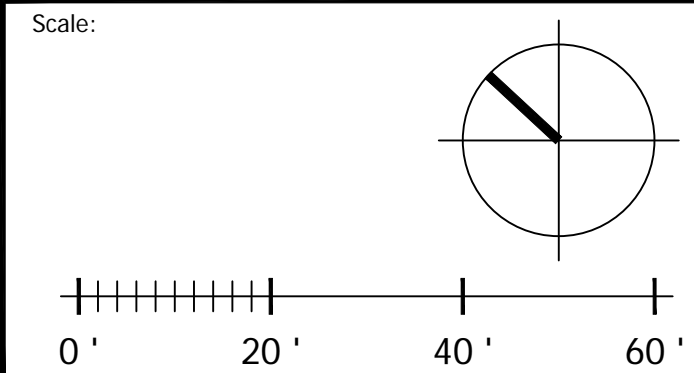
Know what's below.  
Call before you dig.



| SITE PLAN LEGEND |                                 |
|------------------|---------------------------------|
|                  | DIRECTIONAL ARROW               |
|                  | HANDICAP PARKING                |
|                  | PROPOSED CURB                   |
|                  | PROPOSED CONCRETE LESS THAN 6"  |
|                  | PROPOSED CONCRETE 6" OR GREATER |
|                  | NEW ASPHALT PAVEMENT            |
|                  | EXISTING CONCRETE               |
|                  | UTILITY EASEMENT                |
|                  | PROPERTY LINE                   |
|                  | PROPOSED IMPROVEMENTS           |

| SITE PLAN KEYED NOTES |  |
|-----------------------|--|
| ITEM                  | DESCRIPTION  |
| 1                     | NEW 3,172 SF SUNTRUST BANK (SEE ARCHITECTURAL PLANS)   |
| 2                     | NEW CANOPY AND DRIVE THRU (SEE ARCHITECTURAL PLANS)  |
| 3                     | NEW DRAINAGE STRUCTURE (SEE DETAIL, SHEET C05.01)  |
| 4                     | NEW MECHANICAL ENCLOSURE, (SEE ARCHITECTURAL PLANS)  |
| 5                     | NEW CURB AND GUTTER. (SEE DETAIL, SHEET C05.01)  |
| 6                     | NEW 6"x12" RIBBON CURB (SEE DETAIL, SHEET C05.01)  |
| 7                     | NEW ASPHALT PAVEMENT (SEE DETAIL, SHEET C05.01)  |
| 8                     | NEW 6" BLACK CONCRETE PAVEMENT (SEE DETAIL, SHEET C05.01)  |
| 9                     | NEW HANDICAP RAMP (SEE DETAIL, SHEET C05.02)   |
| 10                    | NEW 4" CONCRETE SIDEWALK, SEE PLAN FOR WIDTH (SEE DETAIL, SHEET C05.01)  |
| 11                    | NEW ADA ACCESSIBLE PARKING AND AISLE STRIPING WITH SLOPES NOT TO EXCEED 2.00% IN ALL DIRECTIONS (SEE DETAIL, SHEET C05.01) |
| 12                    | NEW 6-INCH "WHITE" PAINTED PARKING STRIPE (TYPICAL)  |
| 13                    | NEW 6-INCH "WHITE" PAINTED LANE STRIPE (TYPICAL)   |
| 14                    | NEW 6-INCH "DOUBLE YELLOW" PAINTED LANE STRIPE (TYPICAL)   |
| 15                    | NEW 24-INCH "WHITE" PAINTED STOP BAR (TYPICAL)   |
| 16                    | NEW "WHITE" PAINTED DIRECTIONAL ARROW (TYPICAL)  |
| 17                    | NEW HANDICAP PARKING SIGN(S) WITHIN BOLLARD PER BANK GUIDELINES (TYPICAL OF 2) (SEE DETAILS SHEET, SHEET C05.02)           |
| 18                    | NEW BOLLARD(S) PER BANK GUIDELINES (TYPICAL OF 12) (SEE DETAILS SHEET, SHEET C05.02)                                       |
| 19                    | NEW 24" DETECTABLE WARNING (SEE DETAILS SHEET, SHEET C05.01)   |
| 20                    | NEW 30" R-1-1 "STOP" SIGN (SEE DETAILS SHEET, SHEET C05.02)  |
| 21                    | NEW R5-1 "DO NOT ENTER" SIGN (SEE DETAILS SHEET, SHEET C05.02)   |
| 22                    | NEW R3-5R "RIGHT TURN ONLY" SIGN (SEE DETAILS SHEET, SHEET C05.02)   |
| 23                    | PROPOSED MONUMENT SIGN LOCATION (DESIGNED AND PERMITTED BY OTHERS)   |
| 24                    | 2' WIDE CONCRETE @ BACK OF CURB WITH 3' TRANSITION TO PATHWAYS   |
| 25                    | NEW BICYCLE RACK (TYPICAL OF 2) (SEE DETAILS SHEET, SHEET C12.01.)   |
| 26                    | NEW AREA LIGHT (SEE ELECTRICAL SITE PLAN, SHEET E01.01)  |

| SITE PLAN GENERAL NOTES   |   |
|---|---|
| 1. OVERALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.   |   |
| 2. BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL   |   |
| 3. ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED  |   |
| PARCEL NUMBER:  | 1717213495  |
| EXISTING ZONING:  | OX-3-PL (OFFICE MIXED USE PARKING LIMITED)  |
| PROPOSED USE:   | BANK WITH DRIVE THRU  |
| SITE AREA   | 24,731 SF / 0.5678 AC   |
| PROPOSED BUILDING AREA  | 3,172 SF BANK & 629.50 SF DRIVE THROUGH   |
| PARKING DATA  |   |
| BANK PARKING REQUIRED:  | 1 SPACE PER 400 SF OF G.F.A.<br>3,172 SF x (1 / 400 SF) = 8 SPACES  |
| TOTAL PARKING PROVIDED:   | STANDARD PARKING = 17 SPACES<br>HANDICAP PARKING = 2 SPACES<br>TOTAL PARKING PROVIDED = 19 SPACES   |
| PARKING SPACE SETBACK:  | 10' MIN. FROM PRIMARY STREET  |
| PARKING SPACE SIZE:   | 8.5' x 18' MINIMUM  |
| DRIVE THROUGH QUEUE:  | 3 SPACES PER LANE<br>8.5 FEET x 18 FEET MIN.  |
| LOADING ZONE:   | *NOTE-FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES<br>DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE. |
| SITE AREAS  |   |
|   | ACRE S.F. PERCENT   |
| SITE AREA   | 0.57 24,731 100.00%   |
| EXISTING BUILDING AREA:   | 0.15 6,500 26.28%   |
| EXISTING PAVEMENT AREA:   | 0.35 15,050 60.85%  |
| TOTAL IMPERVIOUS AREA:  | 0.50 21,550 87.14%  |
| PROPOSED BUILDING AREA:   | 0.07 3,172 12.83%   |
| PROPOSED PAVEMENT AREA:   | 0.33 14,260 57.66%  |
| SIDEWALK AREA   | 0.03 1,280 5.18%  |
| TOTAL IMPERVIOUS AREA:  | 0.43 18,712 75.67%  |
| LANDSCAPE BUFFERS:  |   |
|   | REQUIRED  |
| LANDSCAPE BUFFER - FRONT (FALLS OF NEUSE RD)  | = 6'  |
| LANDSCAPE BUFFER - SIDE (BULLARD COURT)   | = 0'  |
| LANDSCAPE BUFFER - SIDE (NORTH)   | = 0'  |
| LANDSCAPE BUFFER - REAR (EAST)  | = 0'  |
| YARD SETBACKS:  |   |
|   | REQUIRED  |
| YARD SETBACK - FRONT (FALLS OF NEUSE RD)  | = 5'  |
| YARD SETBACK - SIDE (BULLARD COURT)   | = 5'  |
| YARD SETBACK - SIDE (NORTH)   | = 0' OR 6'  |
| YARD SETBACK - REAR (EAST)  | = 0' OR 6'  |
| FLOOD ZONE:   |   |
| LOCATED IN FLOOD ZONE X.  |   |
| BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP OF NORTH CAROLINA MAP NUMBER 3720171700J, EFFECTIVE DATE MAY 2, 2006.  |   |
| LEGAL DESCRIPTION:  |   |
| ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN NEUSE TOWNSHIP, CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA, BEING ALL OF LOT 7 OF BULLARD-POLK OFFICE CENTER AS RECORDED IN BOOK OF MAPS 1978, VOLUME 1, PAGE 11, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A 1/2 INCH REBAR SET AT THE SOUTHWESTERN END OF CURVED INTERSECTION OF THE EASTERN RIGHT OF WAY LINE OF FALLS OF NEUSE ROAD (RIGHT OF WAY WIDTH VARIES) AND THE SOUTHERN RIGHT OF WAY LINE OF BULLARD COURT (60 FOOT RIGHT OF WAY WIDTH); THENCE PROCEEDING ALONG SAID RIGHT OF WAY LINE OF BULLARD COURT THE FOLLOWING COURSES AND DISTANCES: ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 25.00 FEET AND AN ARC LENGTH OF 39.74 FEET (SAID CURVE HAVING A CHORD BEARING OF NORTH 31 DEGREES 55 MINUTES 35 SECONDS EAST AND A CHORD DISTANCE OF 35.68 FEET) TO A 1/2 INCH REBAR SET AND NORTH 77 DEGREES 27 MINUTES 07 SECONDS EAST A DISTANCE OF 127.00 FEET TO A NAIL FOUND AT THE NORTHWESTERN CORNER OF LOT 6 OF BULLARD-POLK OFFICE CENTER AS RECORDED IN BOOK OF MAPS 1978, VOLUME 1, PAGE 11; THENCE LEAVING BULLARD COURT AND PROCEEDING WITH THE WESTERN BOUNDARY LINE OF LOT 6 OF BULLARD-POLK OFFICE CENTER SOUTH 12 DEGREES 32 MINUTES 53 SECONDS EAST A DISTANCE OF 163.49 FEET TO A 1/2 INCH OPEN TOP PIPE FOUND ON THE NORTHERN BOUNDARY LINE OF LOT 8 OF SAID BULLARD-POLK OFFICE CENTER; THENCE PROCEEDING WITH THE NORTHERN BOUNDARY LINE OF LOT 8 OF SAID BULLARD-POLK OFFICE CENTER SOUTH 76 DEGREES 39 MINUTES 07 SECONDS WEST A DISTANCE OF 151.21 FEET TO A NAIL SET ON THE EASTERN RIGHT OF WAY LINE OF FALLS OF NEUSE ROAD; THENCE PROCEEDING ALONG SAID RIGHT OF WAY LINE OF FALLS OF NEUSE ROAD THE FOLLOWING COURSES AND DISTANCES: NORTH 11 DEGREES 02 MINUTES 53 SECONDS WEST A DISTANCE OF 40.30 FEET TO A 1/2 INCH REBAR SET AND NORTH 13 DEGREES 36 MINUTES 53 SECONDS WEST A DISTANCE OF 99.87 FEET TO THE POINT OF BEGINNING. |   |



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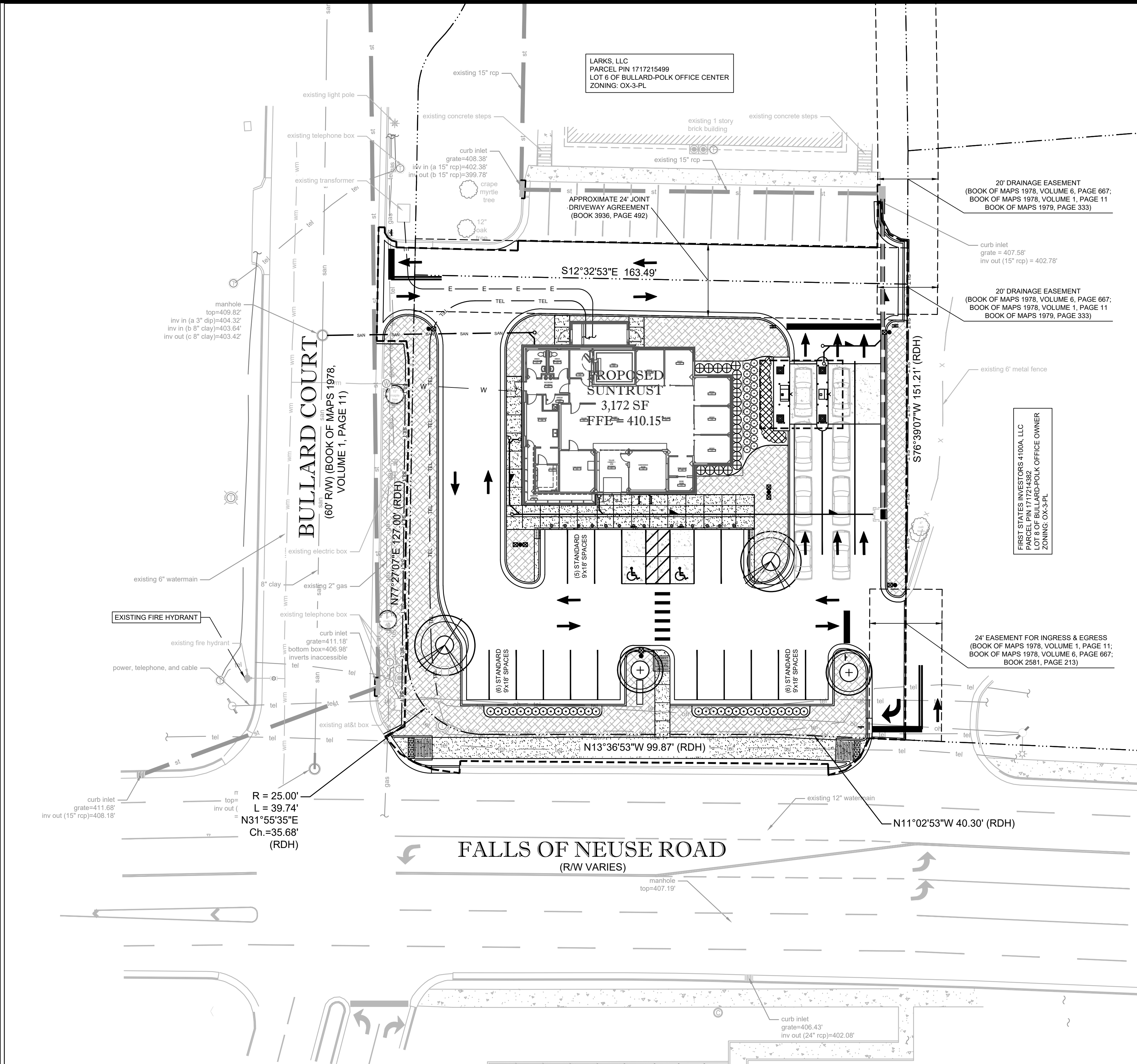
| △ | Date     | Description   |
|---|----------|---------------|
| 1 | 10/02/17 | ISSUE FOR BID |

Seal / Signature

DATE

|                |                          |
|----------------|--------------------------|
| Project Name   | SUNTRUST - SUTTON SQUARE |
| Project Number | 13.2734.000 / 70.39.00   |
| Scale          | AS INDICATED             |
| Description    | SITE PLAN                |

C02.01



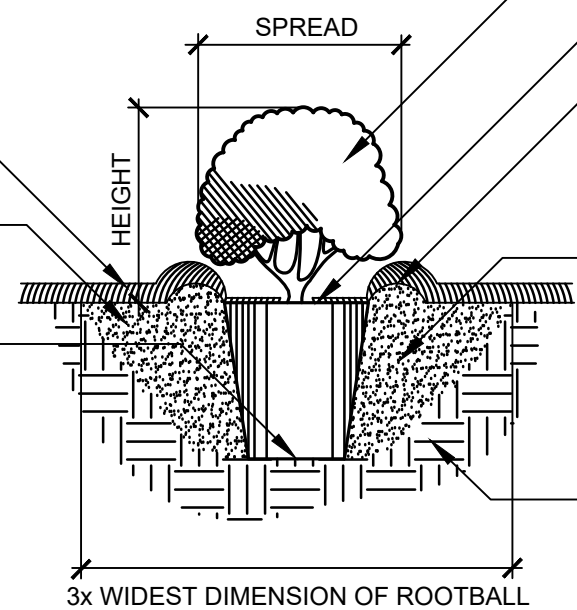
TOP OF ROOTBALL LEVEL WITH OR SLIGHTLY ABOVE SURROUNDING GRADE.

REMOVE CONTAINER BEFORE PLANTING. CLEANLY PRUNE ANY ENCIRCLING ROOTS.

MULCH - SEE LANDSCAPE NOTES. NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL

LOOSENE SOIL. DIG AND TURN SOIL TO REDUCE COMPACTION TO THE AREA AND DEPTH SHOWN

BOTTOM OF ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL.



NOTE: MEASURE HEIGHT FROM TOP OF ROOT BALL SEE PLANT SCHEDULE FOR REQUIRED HEIGHT AND SPREAD FOR EACH SPECIES

**2 PLANTING DETAIL FOR SHRUBS**  
L1.01 SCALE: NOT TO SCALE

CLEANLY PRUNE ONLY DAMAGED, DISEASED AND/OR WEAK BRANCHES.

ROOTBALL

4" HIGH X 8" WIDE ROUND-TOPPED SOIL BERM ABOVE ROOT BALL SURFACE SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY

PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOTBALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL

EXISTING SOIL

### LANDSCAPE NOTES

LOCATE ALL UTILITIES BEFORE DIGGING. PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- ELIMINATE EXISTING VEGETATION IN AREAS TO BE PLANTED. SPRAY WITH ROUNDUP AT MANUFACTURER'S RECOMMENDED RATE TWICE IN 14 DAYS.
- TOP DRESS ALL AREAS TO RECEIVE PLANTINGS WITH 2" FINISHED MUSHROOM COMPOST PRIOR TO PLANTING.
- ALL PLANT MATERIAL ANZI 2.61 OR BETTER.
- DECREASE PLANT SPACING AS REQUIRED TO ALLOW PLACEMENT OF THE DESIGNATED NUMBER OF PLANTS PER GROUPING.
- FERTILIZE ALL PLANTINGS WITH OSMOCOTE OR OTHER APPROVED SLOW RELEASE FERTILIZER AT MANUFACTURER'S RECOMMENDED RATE BEFORE PLACING MULCH.
- APPLY PREEN OR OTHER APPROVED PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS BEFORE PLACING MULCH.
- MULCH ALL AREAS OF TREE, SHRUB AND GROUNDCOVER MASS PLANTINGS WITH SHREDDED BARK MULCH.
- QUANTITIES SHOWN IN PLANT LIST ARE FOR CONTRACTOR'S CONVENIENCE. VERIFY ALL PLANT QUANTITIES SHOWN ON PLAN AND IN PLANT LIST.
- B&B MATERIAL MAY BE SUBSTITUTED FOR CONTAINER GROWN MATERIAL PROVIDED IT EXCEEDS THE MINIMUM SIZES NOTED.
- SOD ALL DISTURBED AREAS WITH SPECIES SHOWN ON PLAN.
- WARRANTY ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE.

### LANDSCAPE REQUIREMENTS

FRONTAGE REQUIREMENTS  
TYPE C3 STREET PROTECTIVE YARD

| PROPERTY LINE | LENGTH | SHRUBS REQUIRED | SHRUBS PROVIDED |
|---------------|--------|-----------------|-----------------|
| NORTH         | -      | -               | -               |
| SOUTH         | 100'   | 30              | 30              |
| EAST          | -      | -               | -               |
| WEST          | -      | -               | -               |

1 SHADE TREE PER 10 SPACES

| PARKING SPACES | SHADE TREES REQUIRED | SHADE TREES PROVIDED |
|----------------|----------------------|----------------------|
| 19 SPACES      | 2                    | 2                    |

1 TREE PER 2,000 S.F. PARKING AREA

| PARKING AREA      | TREES REQUIRED | TREES PROVIDED |
|-------------------|----------------|----------------|
| 3,187 SQUARE FEET | 2              | 2              |

### LANDSCAPE LEGEND

**LANDSCAPE LEGEND**  
**GROUND COVER**

- 7,500± S.F. INCLUDING 10% FOR WASTE KENTUCKY BLUEGRASS SOD POA PRATENSIS
- 40 'STELLA' DAYLILY HEMEROCALLIS HYBRIDA 'STELLA' 1 GAL. 2" O.C.
- 24 'BLUE PACIFIC' JUNIPER JUNIPERUS CONFERTA 'BLUE PACIFIC' 1 GAL. 30" O.C.

**SHRUBS**

- 30 DWARF BURFORD HOLLY ILEX CORNUTA 'BURFORDII NANA' 18" HEIGHT 30" O.C.
- 20 JAPANESE BOXWOOD BUXUS JAPONICA 3 GAL. 3" O.C.

**TREES**

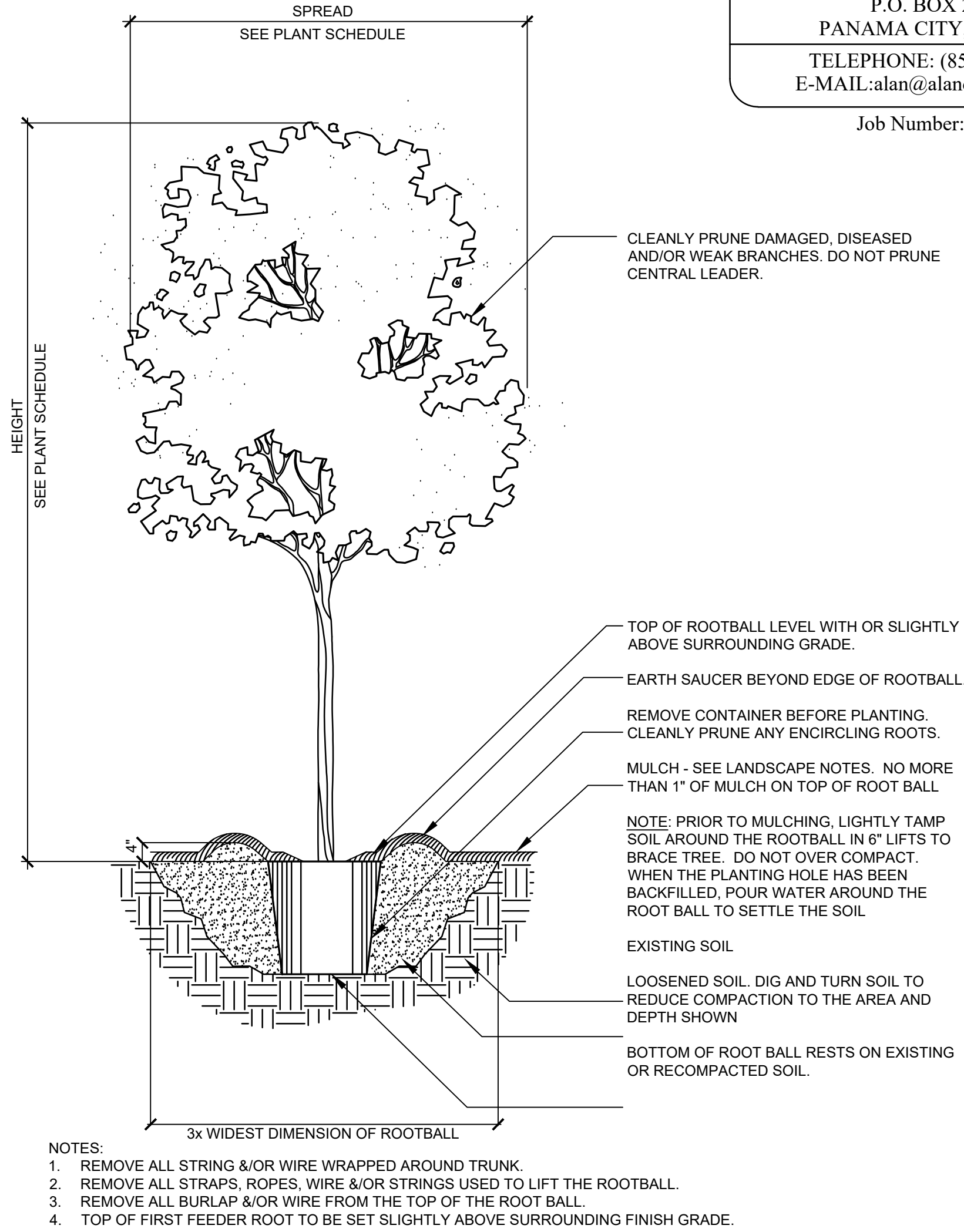
- 2 'DYNAMITE' CRAPE MYRTLE LAGERSTROEMIA INDICA 'DYNAMITE' SINGLE TRUNK STANDARD 1-1/2" CALIPER 6' HEIGHT

**SHADE TREES**

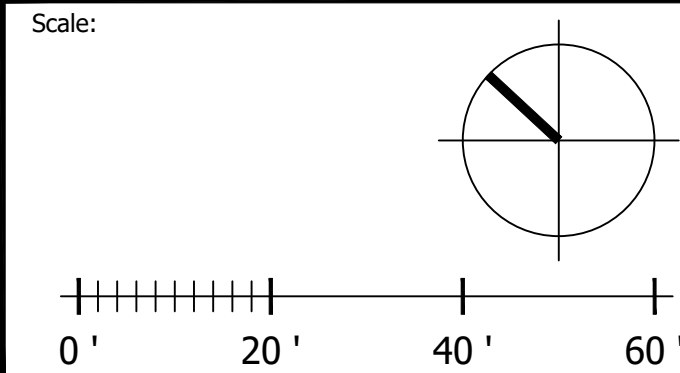
- 2 'OCTOBER GLORY' RED MAPLE ACER RUBRUM 'OCTOBER GLORY' 3" CALIPER 10' HEIGHT

**Alan D. Holt, A.S.L.A.**  
**LANDSCAPE ARCHITECT, PA**  
FL LC#26000193  
P.O. BOX 2549  
PANAMA CITY, FL 32402  
TELEPHONE: (850)914-9006  
E-MAIL: alan@alandholtsla.com

Job Number: 17057



**1 TREE PLANTING**  
L1.01 SCALE: NOT TO SCALE



SUNTRUST - SUTTON SQUARE  
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RALEIGH, NC 27615

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TEL 813.877.6608  
FAX 813.445.4211

| Date | Description |
|------|-------------|
|      |             |

Seal / Signature

OCTOBER 2, 2017  
DATE

|                |                          |
|----------------|--------------------------|
| Project Name   | SUNTRUST - SUTTON SQUARE |
| Project Number | 70-39.00                 |
| Scale          | 1" = 20'                 |
| Description    | LANDSCAPE PLAN           |

**L01.01**

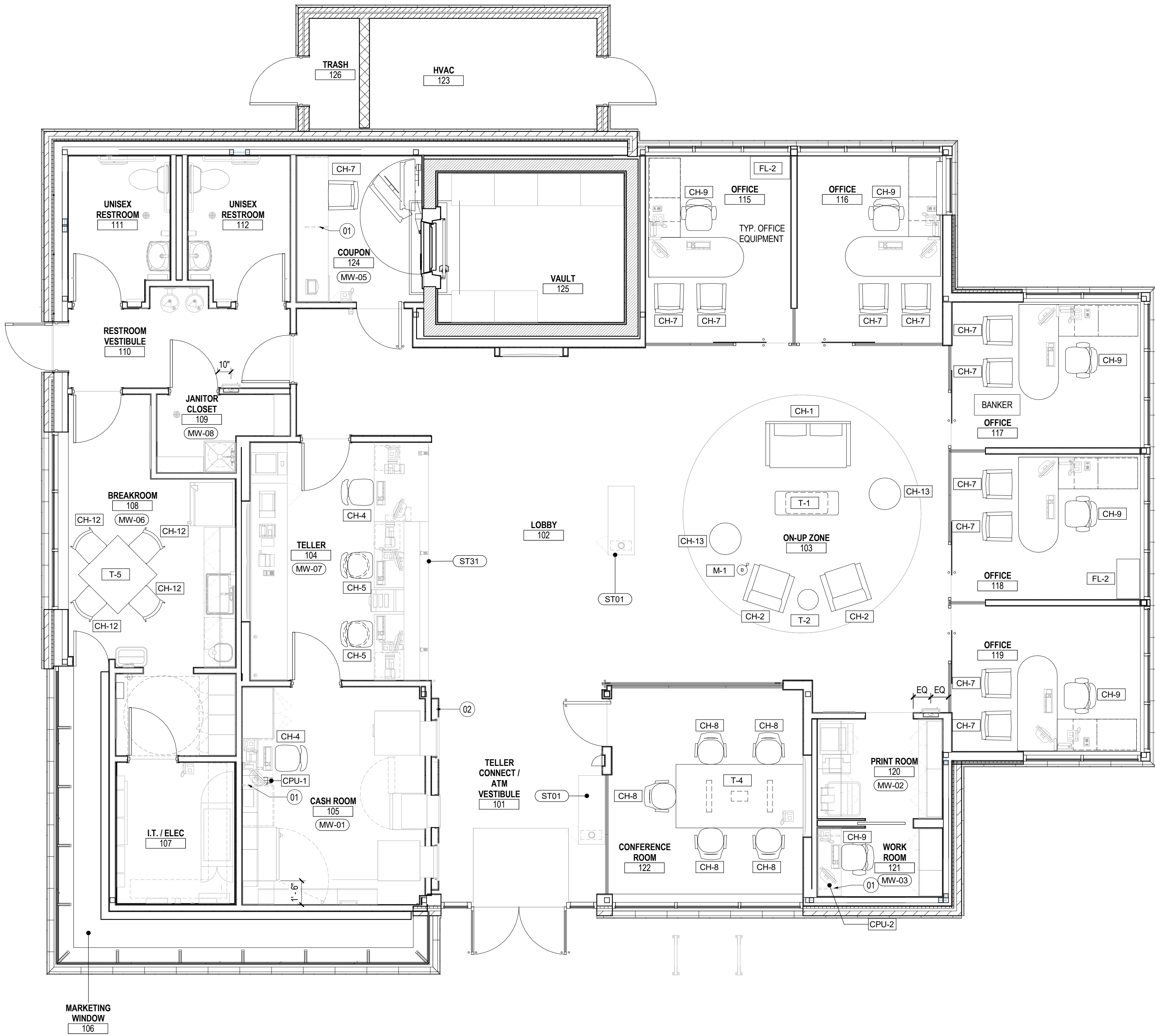


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| MILLWORK SCHEDULE - GC PROVIDED |  |   |
|---------------------------------|--|---|
| QUANTITY (V.I.F.)               | DESCRIPTION  | REMARKS   |
| MW-01 (CASH ROOM)               |  |   |
| 4                               | COUNTERTOP - STRAIGHT                              | VARIABLE SIZE   |
| 2                               | BASE CABINET - (2) FILES                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | BASE CABINET - (2) DOORS                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 2                               | COUNTER BRACKET                                    | REFER TO MILLWORK DETAILS   |
| 7                               | UPPER CABINET - OPEN SHELVES                       | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | TALL CABINET - (4) DOORS                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| MW-02 (PRINT ROOM)              |  |   |
| 1                               | COUNTERTOP - STRAIGHT                              | VARIABLE SIZE   |
| 2                               | BASE CABINET - (2) DOORS                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 4                               | UPPER CABINET - (2) DOORS                          | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| MW-03 (WORK ROOM)               |  |   |
| 2                               | COUNTER BRACKET                                    | REFER TO MILLWORK DETAILS   |
| 1                               | TALL CABINET - (4) DOORS                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | TALL CABINET - SINGLE - (2) DOORS                  | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| MW-05 (COUPON)                  |  |   |
| 1                               | COUNTERTOP - STRAIGHT                              | VARIABLE SIZE   |
| 1                               | BASE CABINET - (2) FILES                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | BASE CABINET - (1) DOOR - PULL OUT SHELF FOR PHONE | VARIABLE SIZE - REFER TO MILLWORK DETAILS, VERIFY PHONE SIZE PRIOR TO FABRICATION |
| 2                               | COUNTER BRACKET                                    | REFER TO MILLWORK DETAILS   |
| MW-06 (BREAKROOM)               |  |   |
| 3                               | UPPER CABINET - (2) DOORS                          | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | COUNTERTOP - STRAIGHT                              | VARIABLE SIZE   |
| 1                               | BASE CABINET - APRON AT SINK                       | REFER TO MILLWORK DETAILS   |
| 1                               | BASE CABINET - MICROWAVE                           | REFER TO MILLWORK DETAILS   |

| MILLWORK SCHEDULE - GC PROVIDED |                                 |   |
|---------------------------------|---------------------------------|---|
| QUANTITY (V.I.F.)               | DESCRIPTION                     | REMARKS   |
| MW-07 (TELLER)                  |                                 |   |
| 1                               | COUNTERTOP - STRAIGHT           | VARIABLE SIZE                                   |
| 2                               | BASE CABINET - BOX, FILE, FILE  | VARIABLE SIZE - REFER TO MILLWORK DETAILS       |
| 2                               | BASE CABINET - (4) BOX DRAWERS  | VARIABLE SIZE - REFER TO MILLWORK DETAILS       |
| 2                               | BASE CABINET - (2) DOORS        | VARIABLE SIZE - REFER TO MILLWORK DETAILS       |
| 1                               | BASE CABINET - (1) DOOR - TRASH | VARIABLE SIZE - REFER TO MILLWORK DETAILS       |
| 2                               | GROMMET                         | REFER TO LOCATIONS IN PLAN AND MILLWORK DETAILS |
| MW-08 (JANITOR CLOSET)          |                                 |   |
| 2                               | SHELVING - JANITORS CLOSET      | REFER TO MILLWORK DETAILS                       |

| MILLWORK SCHEDULE - VENDOR PROVIDED |                   |                                    |   |
|-------------------------------------|-------------------|------------------------------------|---|
| TAG                                 | QUANTITY (V.I.F.) | DESCRIPTION                        | REMARKS                                     |
| ST01                                | 2                 | CHECK DESK - ATM VESTIBULE & LOBBY | ACCESSIBLE                                  |
| ST05                                | 1                 | SUNBURST CEILING SUNRAYS           | 3FORM SUNBURST FINIS, 6 FINIS, CEILING HUNG |
| ST06                                | 1                 | SUNBURST LOBBY RING LIGHT          | LIGHTART RING LIGHT, CUSTOM 10' DIAMETER    |
| ST31                                | 1                 | (3) STATION TELLERLINE             | STANDARD (RIGHT ADA)                        |



## SHEET NOTES

- 01 BRACKET SUPPORT PROVIDED; SEE 01/A-12.05  
02 ATM WALL BY SIGNAGE VENDOR, ATM WALL TO END 3' FROM PERPENDICULAR WALL



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Fax 770.368.1944

## FURNITURE SCHEDULE

| FURNITURE SCHEDULE |  |
|--------------------|--|
| TAG                | ITEM   |
| CH-1               | LOBBY TWO-SEAT SOFA                          |
| CH-2               | LOBBY LOUNGE CHAIR                           |
| CH-4               | TELLER CHAIR                                 |
| CH-5               | TELLER STOOL                                 |
| CH-7               | GUEST CHAIR                                  |
| CH-8               | CONFERENCE CHAIR                             |
| CH-9               | TASK CHAIR                                   |
| CH-12              | BREAKROOM CHAIR                              |
| CH-13              | LOBBY OTTOMAN                                |
| CPU-1              | CPU HOLDER AT WORKSTATION IN CASHROOM        |
| CPU-2              | CPU HOLDER AT ALL DESKS AND WORKROOM COUNTER |
| FL-2               | LATERAL FILE (FOR FA & MANAGER OFFICES ONLY) |
| M-1                | LOBBY POWER HUB                              |
| T-1                | LOBBY COFFEE TABLE                           |
| T-2                | LOBBY OCCASIONAL TABLE                       |
| T-4                | CONFERENCE TABLE                             |
| T-5                | BREAK ROOM TABLE                             |

## GENERAL NOTES

| △ | Date     | Description   |
|---|----------|---------------|
| 1 | 10/02/17 | ISSUE FOR BID |

Seal / Signature

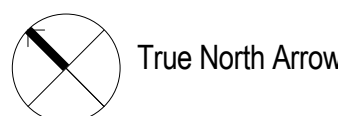
Project Name  
SUTTON SQUARE

Project Number  
13.2734.000

Scale  
1/4" = 1'-0"

Description  
FURNITURE & MILLWORK PLAN

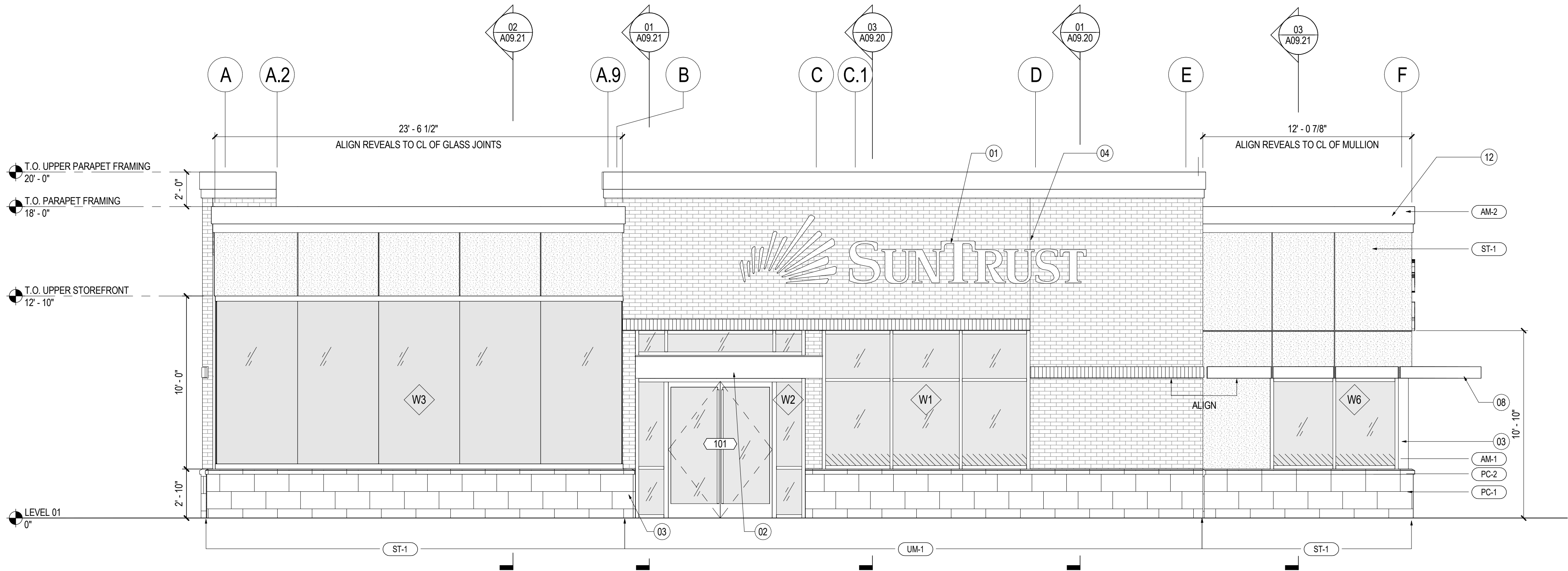
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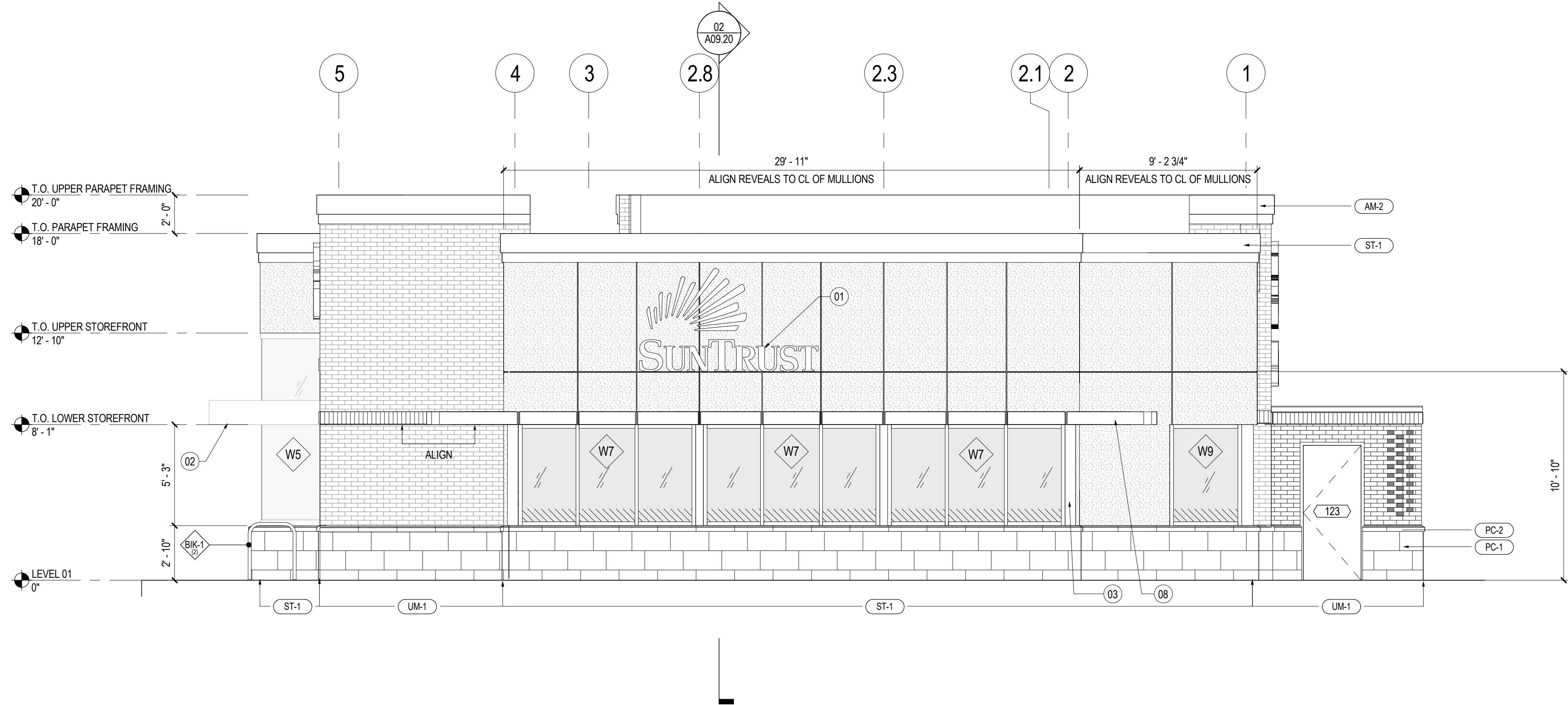
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## 1 FURNITURE PLAN

SCALE: 1/4" = 1'-0"



01 WEST ELEVATION 2  
SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

## SHEET NOTES

- 01 BACKLIT TENANT SIGNAGE. JUNCTION BOX TO BE INSTALLED BEHIND SIGNAGE; COORDINATE WITH ELECTRICAL DRAWINGS. COORDINATE ACCESS PANELS FOR SIGNAGE DRIVERS ON INSIDE OF BUILDING. SIGNAGE UNDER SEPARATE PERMIT, TYP.
- 02 ALUMINUM CLAD CANOPY; REFER TO SECTIONS AND DETAILS.
- 03 BRAKE METAL CLADDING TO MATCH STOREFRONT FRAMING
- 04 MASONARY EXPANSION JOINT
- 08 SUNSHADE SYSTEM; REFER TO FINISH SCHEDULE
- 12 METAL FASCIA - REFER TO DETAILS AND FINISH SCHEDULE.



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## GENERAL NOTES

- REFER TO WINDOW SCHEDULE AND/OR FINISH SCHEDULE FOR ADDITIONAL INFORMATION
- USE EX-7 OR EX-8 FOR FLASHING ADJACENT TO ELEMEX NEOLITH PANELS. REFER TO FINISH SCHEDULE FOR LOCATIONS

| △ | Date     | Description   |
|---|----------|---------------|
| 1 | 10/02/17 | ISSUE FOR BID |

### Seal / Signature

### Project Name

SUTTON SQUARE

### Project Number

13.2734.000

### Scale

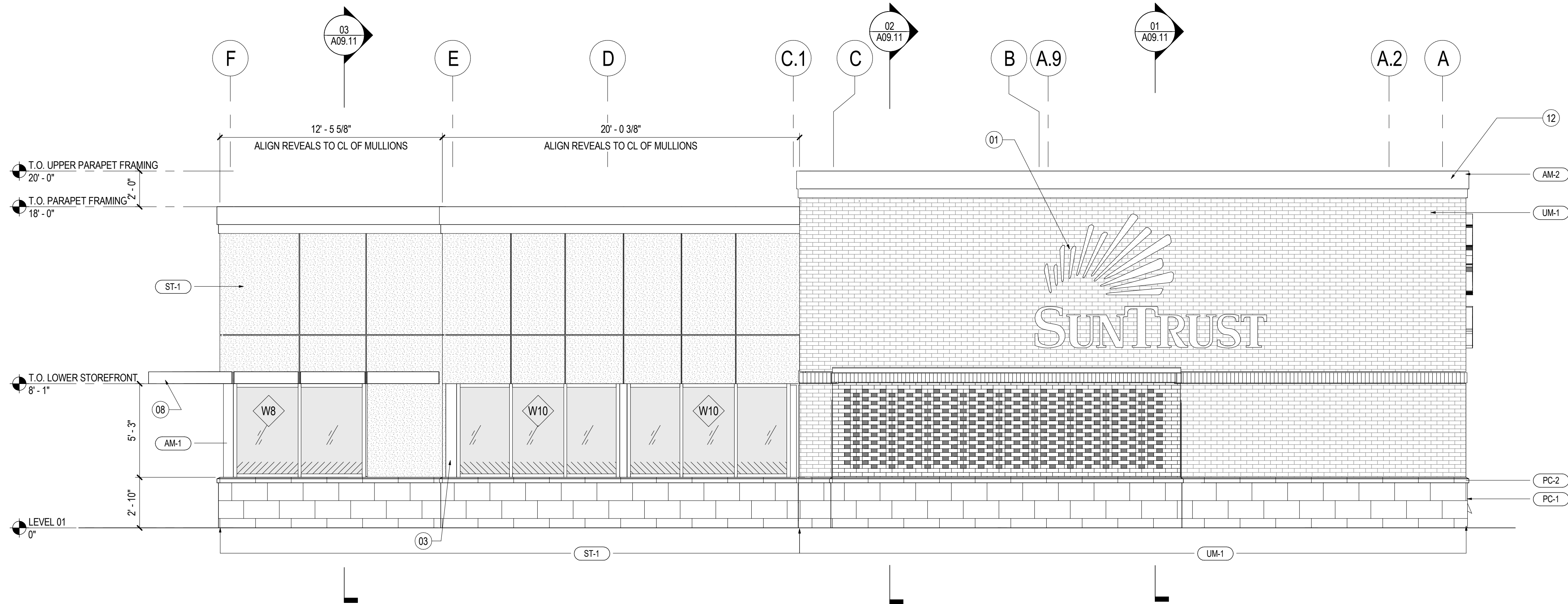
1/4" = 1'-0"

### Description

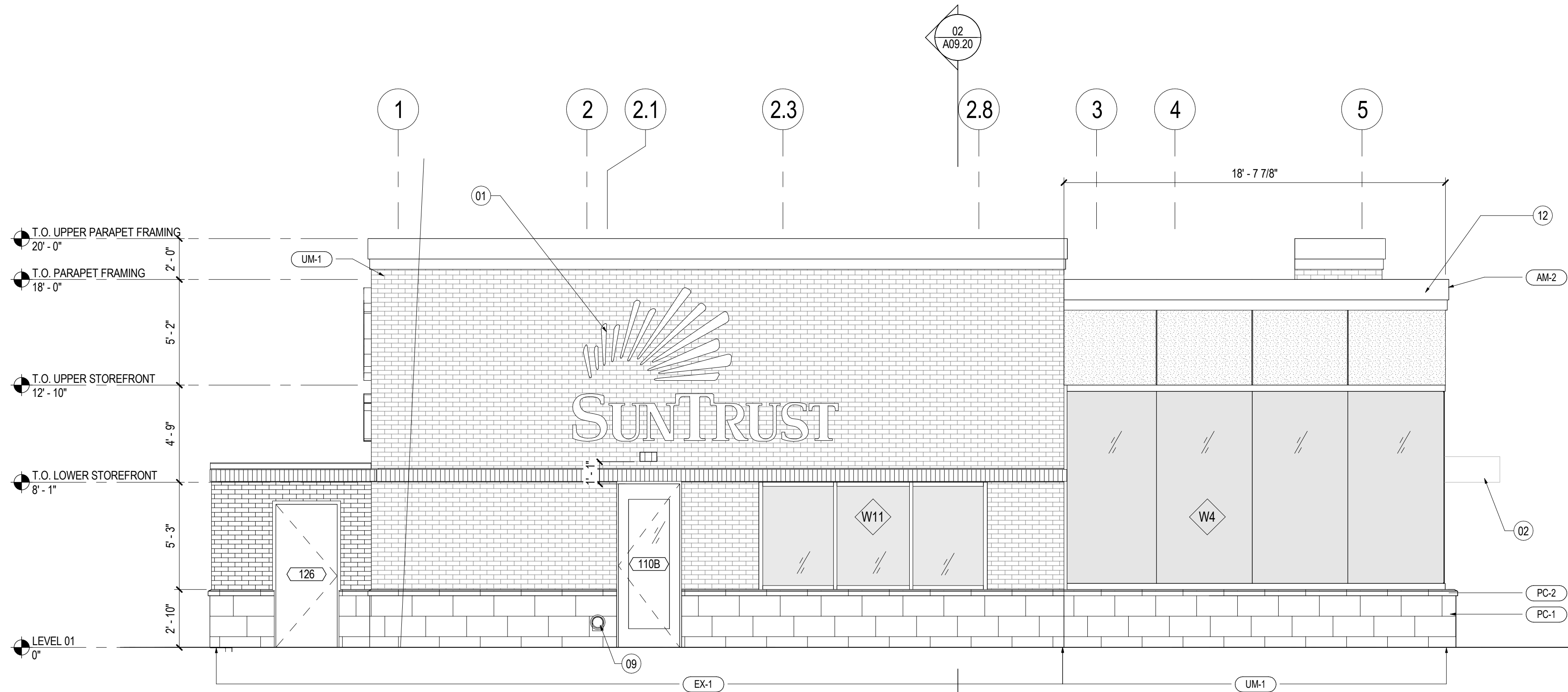
EXTERIOR ELEVATIONS

A09.01





01 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



02 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

SHEET NOTES

- 01 BACKLIT TENANT SIGNAGE; JUNCTION BOX TO BE INSTALLED BEHIND SIGNAGE; COORDINATE WITH ELECTRICAL DRAWINGS; COORDINATE ACCESS PANELS FOR SIGNAGE DRIVERS ON INSIDE OF BUILDING; SIGNAGE UNDER SEPARATE PERMIT, TYP.
- 02 ALUMINUM CLAD CANOPY; REFER TO SECTIONS AND DETAILS
- 08 SUNSHADE SYSTEM; REFER TO FINISH SCHEDULE
- 09 OVERFLOW DRAIN; COORDINATE LOCATION WITH PLUMBING



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GENERAL NOTES

- A REFER TO WINDOW SCHEDULE AND/OR FINISH SCHEDULE FOR ADDITIONAL INFORMATION
- B USE EX-7 OR EX-8 FOR FLASHING ADJACENT TO ELEMEX NEOLITH PANELS. REFER TO FINISH SCHEDULE FOR LOCATIONS

| △ | Date     | Description   |
|---|----------|---------------|
| 1 | 10/02/17 | ISSUE FOR BID |

Seal / Signature

Project Name

SUTTON SQUARE

Project Number

13.2734.000

Scale

1/4" = 1'-0"

Description

EXTERIOR ELEVATIONS

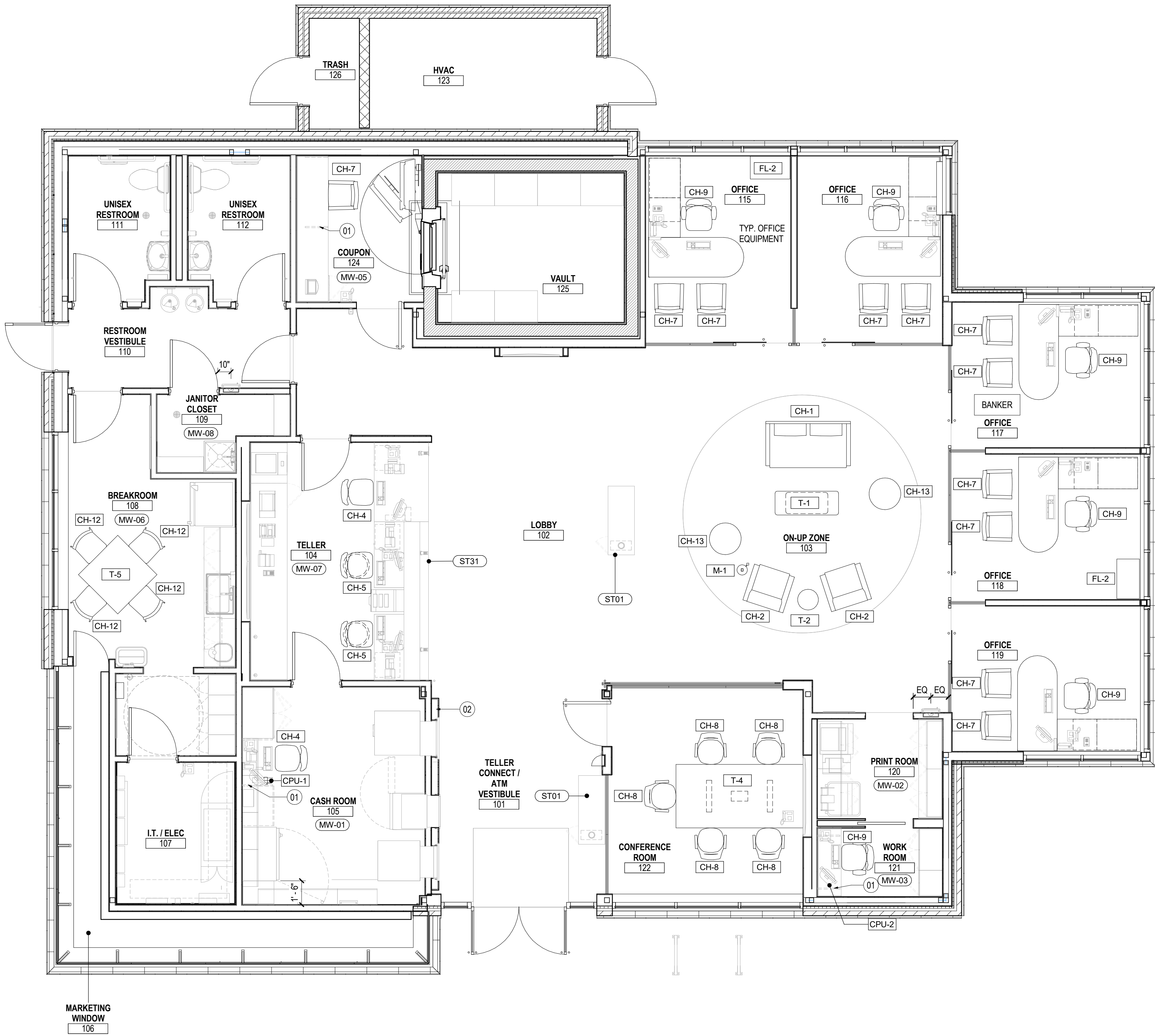
A09.02

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| MILLWORK SCHEDULE - GC PROVIDED |  |   |
|---------------------------------|--|---|
| QUANTITY (V.I.F.)               | DESCRIPTION  | REMARKS   |
| MW-01 (CASH ROOM)               |  |   |
| 4                               | COUNTERTOP - STRAIGHT                              | VARIABLE SIZE   |
| 2                               | BASE CABINET - (2) FILES                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | BASE CABINET - (2) DOORS                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 2                               | COUNTER BRACKET                                    | REFER TO MILLWORK DETAILS   |
| 7                               | UPPER CABINET - OPEN SHELVES                       | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | TALL CABINET - (4) DOORS                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| MW-02 (PRINT ROOM)              |  |   |
| 1                               | COUNTERTOP - STRAIGHT                              | VARIABLE SIZE   |
| 2                               | BASE CABINET - (2) DOORS                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 4                               | UPPER CABINET - (2) DOORS                          | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| MW-03 (WORK ROOM)               |  |   |
| 2                               | COUNTER BRACKET                                    | REFER TO MILLWORK DETAILS   |
| 1                               | TALL CABINET - (4) DOORS                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | TALL CABINET - SINGLE - (2) DOORS                  | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| MW-05 (COUPON)                  |  |   |
| 1                               | COUNTERTOP - STRAIGHT                              | VARIABLE SIZE   |
| 1                               | BASE CABINET - (2) FILES                           | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | BASE CABINET - (1) DOOR - PULL OUT SHELF FOR PHONE | VARIABLE SIZE - REFER TO MILLWORK DETAILS, VERIFY PHONE SIZE PRIOR TO FABRICATION |
| 2                               | COUNTER BRACKET                                    | REFER TO MILLWORK DETAILS   |
| MW-06 (BREAKROOM)               |  |   |
| 3                               | UPPER CABINET - (2) DOORS                          | VARIABLE SIZE - REFER TO MILLWORK DETAILS   |
| 1                               | COUNTERTOP - STRAIGHT                              | VARIABLE SIZE   |
| 1                               | BASE CABINET - APRON AT SINK                       | REFER TO MILLWORK DETAILS   |
| 1                               | BASE CABINET - MICROWAVE                           | REFER TO MILLWORK DETAILS   |

| MILLWORK SCHEDULE - GC PROVIDED |                                 |   |
|---------------------------------|---------------------------------|---|
| QUANTITY (V.I.F.)               | DESCRIPTION                     | REMARKS   |
| MW-07 (TELLER)                  |                                 |   |
| 1                               | COUNTERTOP - STRAIGHT           | VARIABLE SIZE                                   |
| 2                               | BASE CABINET - BOX, FILE, FILE  | VARIABLE SIZE - REFER TO MILLWORK DETAILS       |
| 2                               | BASE CABINET - (4) BOX DRAWERS  | VARIABLE SIZE - REFER TO MILLWORK DETAILS       |
| 2                               | BASE CABINET - (2) DOORS        | VARIABLE SIZE - REFER TO MILLWORK DETAILS       |
| 1                               | BASE CABINET - (1) DOOR - TRASH | VARIABLE SIZE - REFER TO MILLWORK DETAILS       |
| 2                               | GROMMET                         | REFER TO LOCATIONS IN PLAN AND MILLWORK DETAILS |
| MW-08 (JANITOR CLOSET)          |                                 |   |
| 2                               | SHELVING - JANITORS CLOSET      | REFER TO MILLWORK DETAILS                       |

| MILLWORK SCHEDULE - VENDOR PROVIDED |                   |                                    |   |
|-------------------------------------|-------------------|------------------------------------|---|
| TAG                                 | QUANTITY (V.I.F.) | DESCRIPTION                        | REMARKS                                     |
| ST01                                | 2                 | CHECK DESK - ATM VESTIBULE & LOBBY | ACCESSIBLE                                  |
| ST05                                | 1                 | SUNBURST CEILING SUNRAYS           | 3FORM SUNBURST FINIS, 6 FINIS, CEILING HUNG |
| ST06                                | 1                 | SUNBURST LOBBY RING LIGHT          | LIGHTART RING LIGHT, CUSTOM 10' DIAMETER    |
| ST31                                | 1                 | (3) STATION TELLERLINE             | STANDARD (RIGHT ADA)                        |



## 1 FURNITURE PLAN

SCALE: 1/4" = 1'-0"

## SHEET NOTES

- 01 BRACKET SUPPORT PROVIDED; SEE 01/A-12.05
- 02 ATM WALL BY SIGNAGE VENDOR. ATM WALL TO END 3' FROM PERPENDICULAR WALL



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## FURNITURE SCHEDULE

| FURNITURE SCHEDULE |  |
|--------------------|--|
| TAG                | ITEM   |
| CH-1               | LOBBY TWO-SEAT SOFA                          |
| CH-2               | LOBBY LOUNGE CHAIR                           |
| CH-4               | TELLER CHAIR                                 |
| CH-5               | TELLER STOOL                                 |
| CH-7               | GUEST CHAIR                                  |
| CH-8               | CONFERENCE CHAIR                             |
| CH-9               | TASK CHAIR                                   |
| CH-12              | BREAKROOM CHAIR                              |
| CH-13              | LOBBY OTTOMAN                                |
| CPU-1              | CPU HOLDER AT WORKSTATION IN CASHROOM        |
| CPU-2              | CPU HOLDER AT ALL DESKS AND WORKROOM COUNTER |
| FL-2               | LATERAL FILE (FOR FA & MANAGER OFFICES ONLY) |
| M-1                | LOBBY POWER HUB                              |
| T-1                | LOBBY COFFEE TABLE                           |
| T-2                | LOBBY OCCASIONAL TABLE                       |
| T-4                | CONFERENCE TABLE                             |
| T-6                | BREAK ROOM TABLE                             |

## GENERAL NOTES

| △ | Date     | Description   |
|---|----------|---------------|
| 1 | 10/02/17 | ISSUE FOR BID |

Seal / Signature

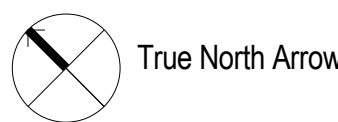
Project Name  
SUTTON SQUARE

Project Number  
13.2734.000

Scale  
1/4" = 1'-0"

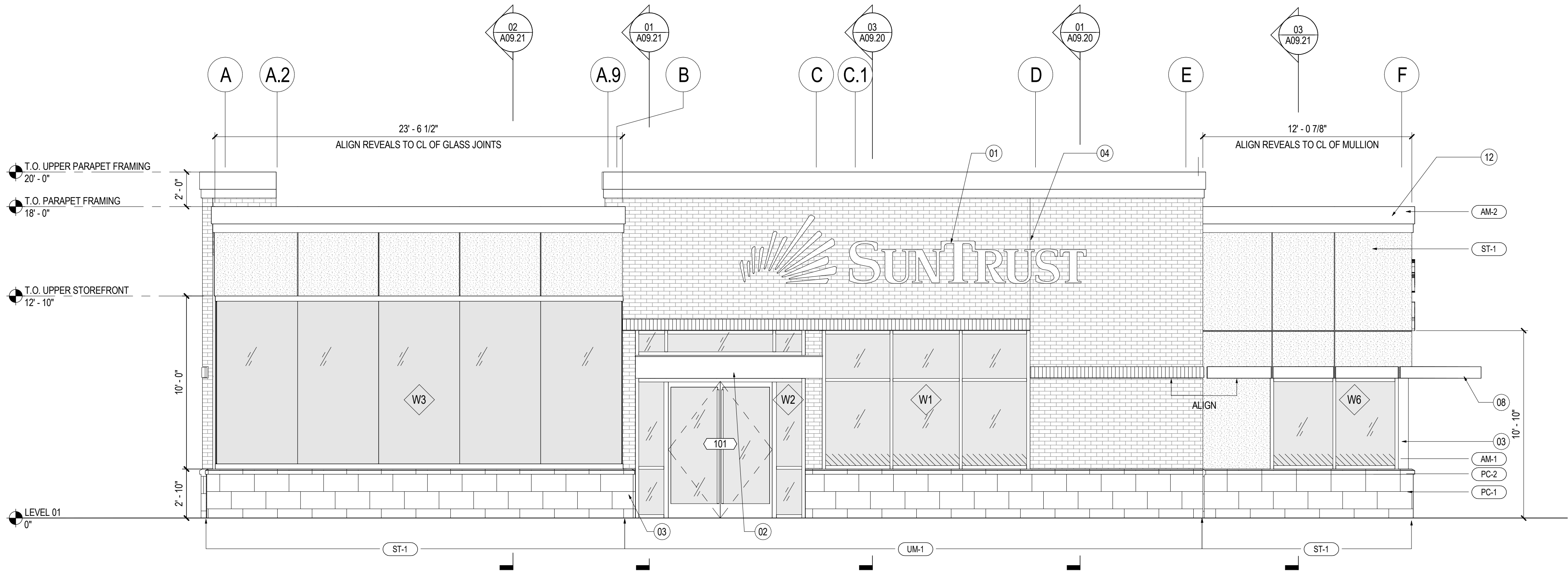
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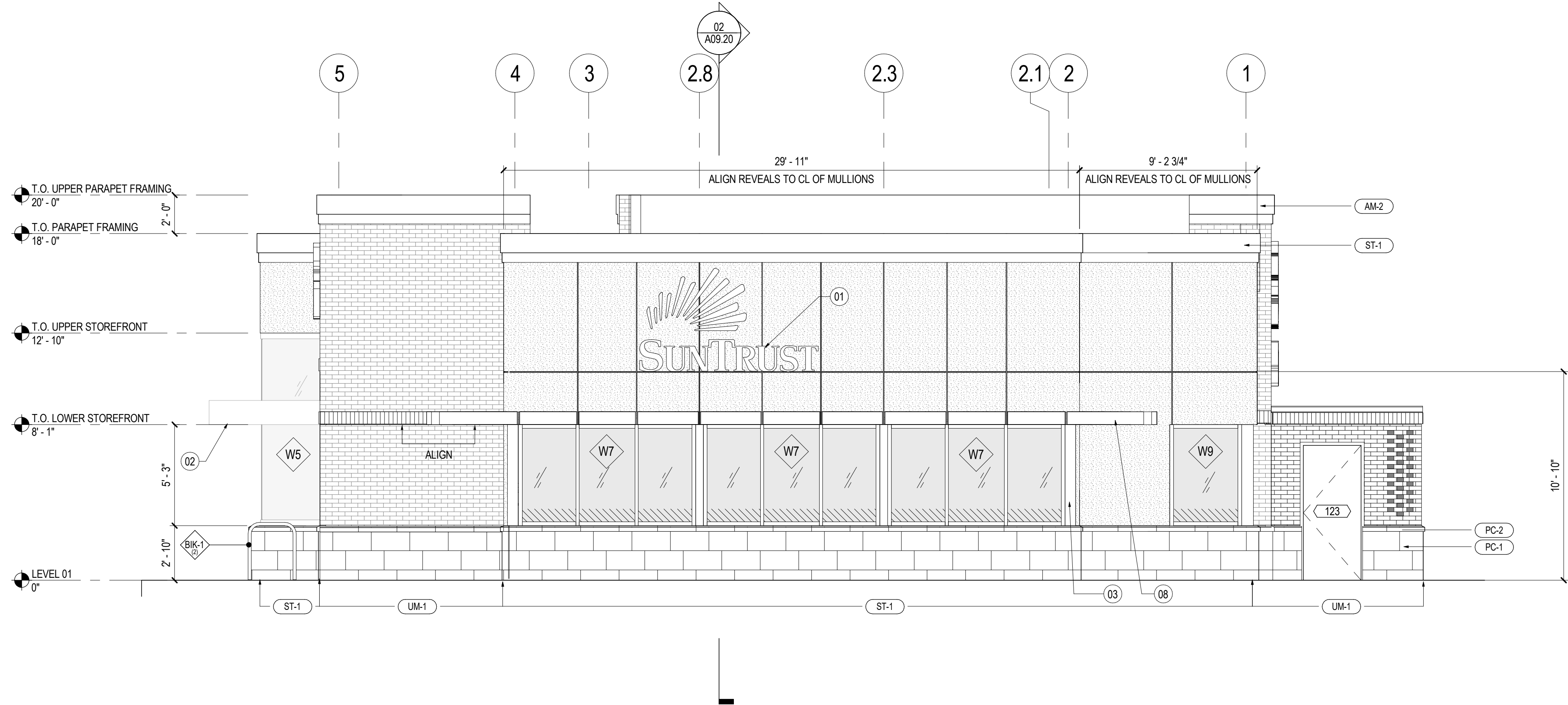


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01 WEST ELEVATION 2  
SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

## SHEET NOTES

- 01 BACKLIT TENANT SIGNAGE. JUNCTION BOX TO BE INSTALLED BEHIND SIGNAGE; COORDINATE WITH ELECTRICAL DRAWINGS. COORDINATE ACCESS PANELS FOR SIGNAGE DRIVERS ON INSIDE OF BUILDING. SIGNAGE UNDER SEPARATE PERMIT, TYP.
- 02 ALUMINUM CLAD CANOPY; REFER TO SECTIONS AND DETAILS.
- 03 BRAKE METAL CLADDING TO MATCH STOREFRONT FRAMING
- 04 MASONARY EXPANSION JOINT
- 08 SUNSHADE SYSTEM; REFER TO FINISH SCHEDULE
- 12 METAL FASCIA - REFER TO DETAILS AND FINISH SCHEDULE.



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## GENERAL NOTES

- REFER TO WINDOW SCHEDULE AND/OR FINISH SCHEDULE FOR ADDITIONAL INFORMATION
- USE EX-7 OR EX-8 FOR FLASHING ADJACENT TO ELEMEX NEOLITH PANELS. REFER TO FINISH SCHEDULE FOR LOCATIONS

| △ | Date     | Description   |
|---|----------|---------------|
| 1 | 10/02/17 | ISSUE FOR BID |

### Seal / Signature

### Project Name

SUTTON SQUARE

### Project Number

13.2734.000

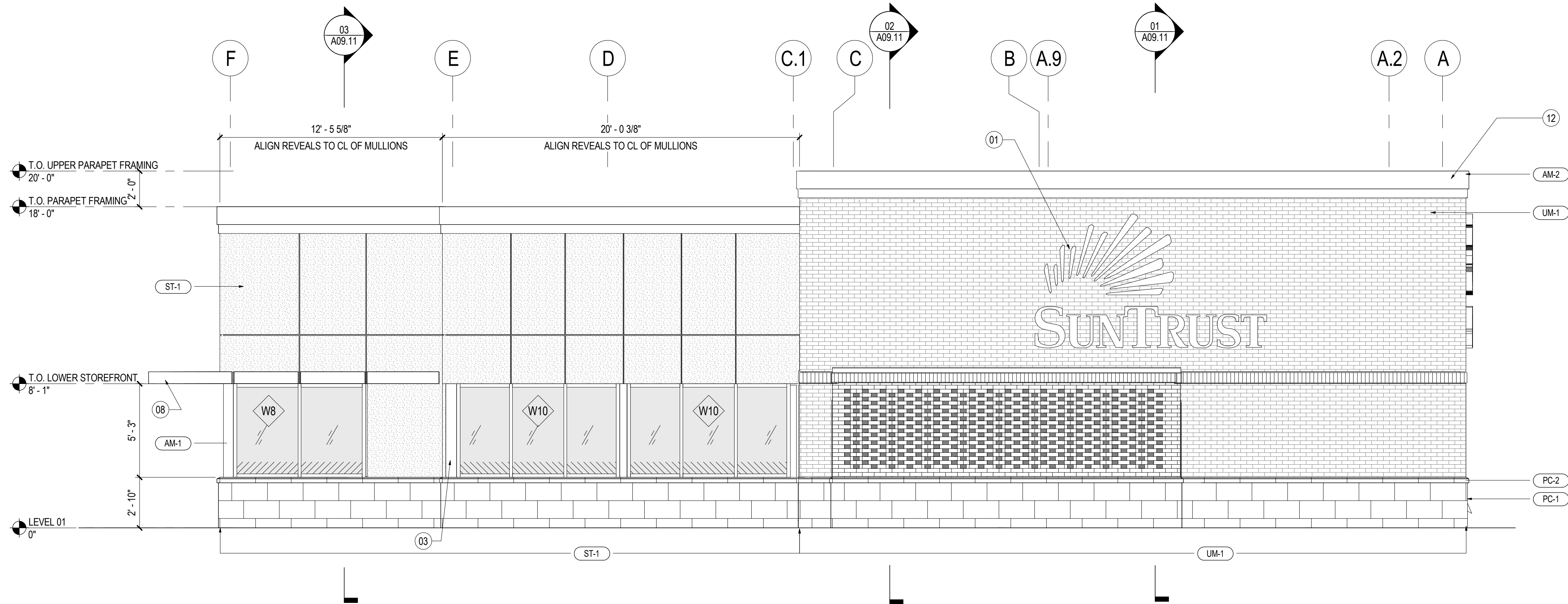
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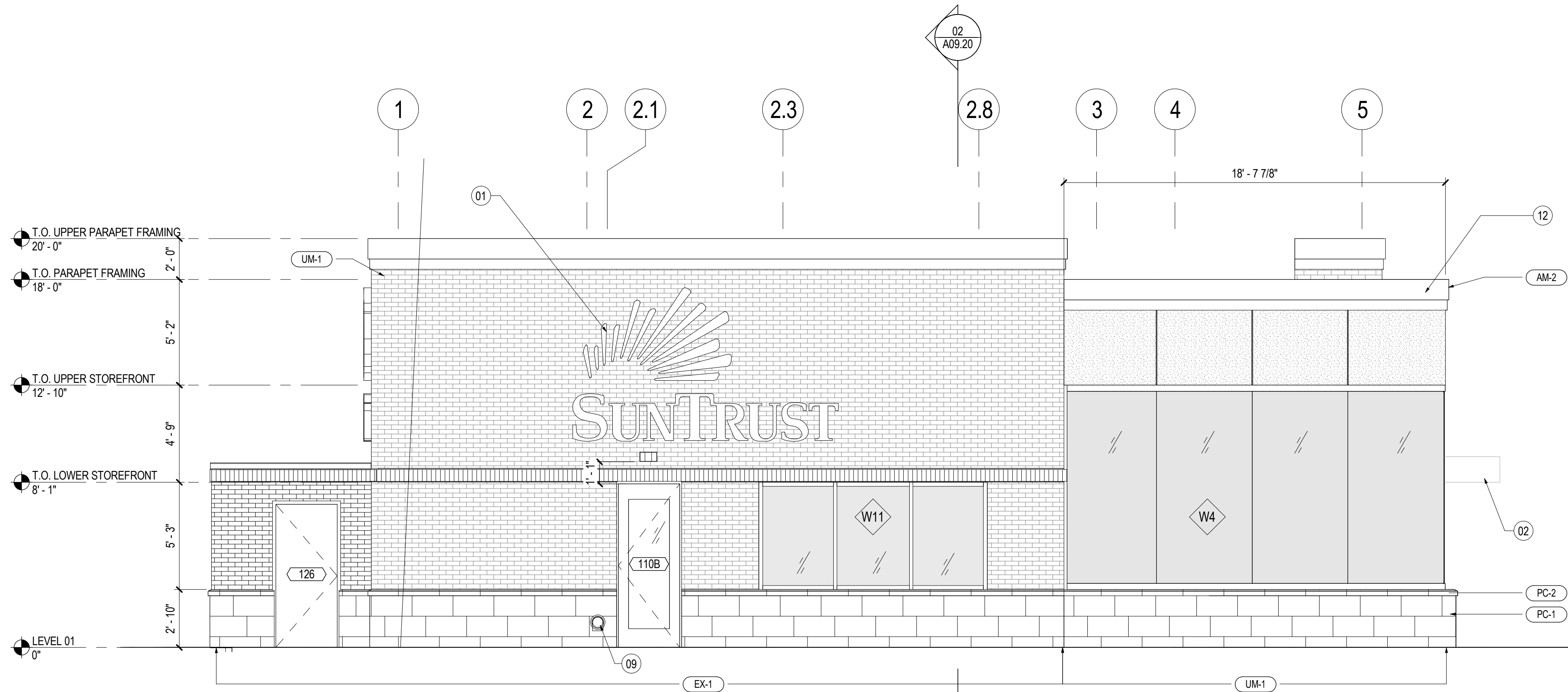
### Description

EXTERIOR ELEVATIONS

A09.01



01 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



02 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

SHEET NOTES

- 01 BACKLIT TENANT SIGNAGE; JUNCTION BOX TO BE INSTALLED BEHIND SIGNAGE; COORDINATE WITH ELECTRICAL DRAWINGS; COORDINATE ACCESS PANELS FOR SIGNAGE DRIVERS ON INSIDE OF BUILDING; SIGNAGE UNDER SEPARATE PERMIT, TYP.
- 02 ALUMINUM CLAD CANOPY; REFER TO SECTIONS AND DETAILS
- 08 SUNSHADE SYSTEM; REFER TO FINISH SCHEDULE
- 09 OVERFLOW DRAIN; COORDINATE LOCATION WITH PLUMBING



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Fax 813.445.4211



C.J.L. Engineering  
232 Horner Street  
Johnstown, PA 15902  
Tel 814.536.1651  
Fax 814.536.5732



Foresite Group  
3740 Davinci Ct  
Suite 100  
Norcross, Georgia 30092  
Tel 770.368.1399  
Fax 770.368.1944

GENERAL NOTES

- A REFER TO WINDOW SCHEDULE AND/OR FINISH SCHEDULE FOR ADDITIONAL INFORMATION
- B USE EX-7 OR EX-8 FOR FLASHING ADJACENT TO ELEMEX NEOLITH PANELS. REFER TO FINISH SCHEDULE FOR LOCATIONS

| △ | Date     | Description   |
|---|----------|---------------|
| 1 | 10/02/17 | ISSUE FOR BID |

Seal / Signature

Project Name

SUTTON SQUARE

Project Number

13.2734.000

Scale

1/4" = 1'-0"

Description

EXTERIOR ELEVATIONS

A09.02



SunTrust Banks

6308 Falls of Neuse Road  
Raleigh, NC 27615

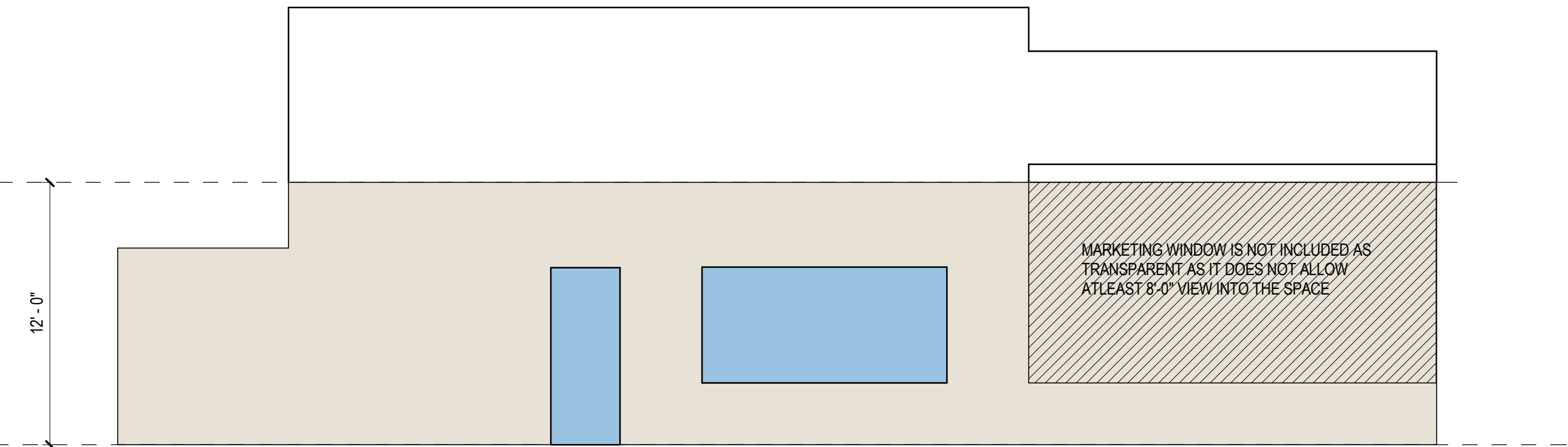
Gensler

Edit this information  
by opening the titleblock in  
the family editor,  
then use the type selector  
to set your office location

?

TOTAL AREA WITH IN 12'-0" - 701 SQ FT  
W/ MARKETING WINDOW - 256 SQ FT / 36%  
W/OUT MARKETING WINDOW - 85 SQ FT / 12%  
  
REQUIRED: 60% STREET FACING WINDOWS  
AND ALLOWS AT LEAST 8'-0" INSIDE

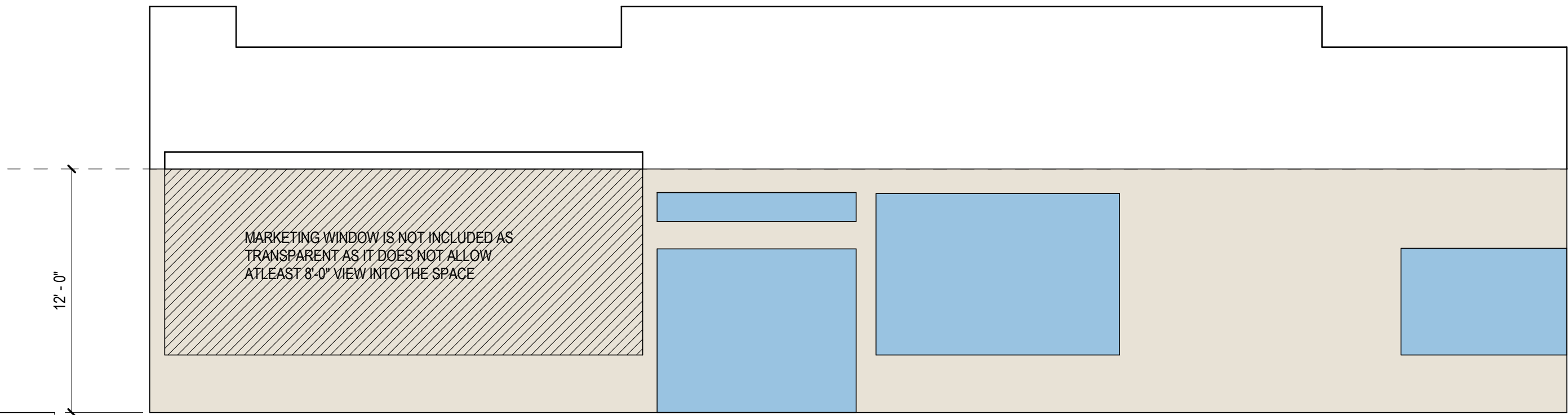
MARKETING WINDOW IS NOT INCLUDED AS  
TRANSPARENT AS IT DOES NOT ALLOW  
AT LEAST 8'-0" VIEW INTO THE SPACE



1 TS - NORTH ELEVATION (FACES BULLARD CT)  
SCALE: 3/16" = 1'-0"

TOTAL AREA WITH IN 12'-0" - 838 SQ FT  
W/ MARKETING WINDOW - 448 SQ FT / 53%  
W/OUT MARKETING WINDOW - 232 SQ FT / 28%  
  
REQUIRED: 60% STREET FACING WINDOWS  
AND ALLOWS AT LEAST 8'-0" INSIDE

MARKETING WINDOW IS NOT INCLUDED AS  
TRANSPARENT AS IT DOES NOT ALLOW  
AT LEAST 8'-0" VIEW INTO THE SPACE



3 TS - WEST ELEVATION (FACES FALLS OF NEUSE ROAD)  
SCALE: 3/16" = 1'-0"

Seal / Signature

NOT FOR  
CONSTRUCTION

Project Name

SUTTON SQUARE

Project Number

13.2734.000

Description

TRANSPARENCY STUDIES

Scale

3/16" = 1'-0"

ASK001
























# SUNTRUST





A modern conference room with a large wooden table, several grey chairs, and a large screen on the wall. A man is standing by the window, talking on a phone. The room has a glass wall on the left and a large window on the right. The ceiling has a grid pattern with recessed lights and a long, thin light fixture. The floor is covered with a dark blue carpet.

Juggling a lot?  
We can make it easier.

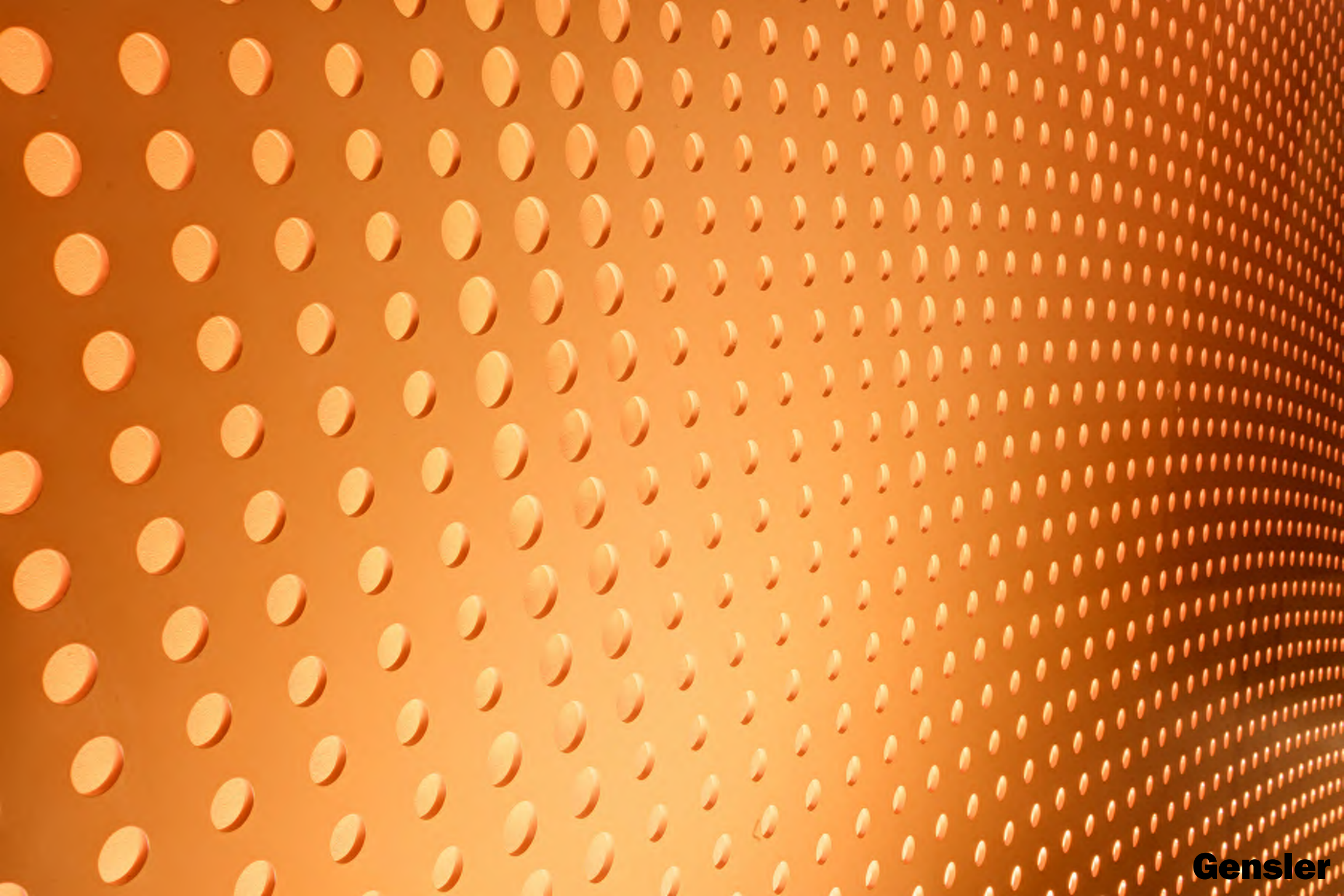






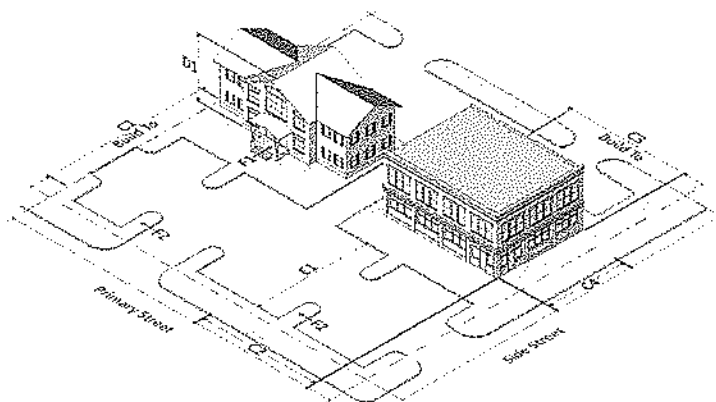






CHAPTER 3. MIXED USE DISTRICTS | Article 3.4. Frontage Requirements  
 Sec. 3.4.5. Parking Limited (-PL)

**Sec. 3.4.5. Parking Limited (-PL)**



**A. Description**

Intended for areas where access to buildings by automobile is desired but where some level of walkability is maintained. Permits a maximum of 2 bays of on-site parking with a single drive aisle between the building and the street right-of-way.

**B. Building Types Allowed**

Townhouse (see Sec. 3.2.3.) Mixed use building (see Sec. 3.2.6.)

Apartment (see Sec. 3.2.4.) Civic building (see Sec. 3.2.7.)

General building (see Sec. 3.2.5.) Open lot (see Sec. 3.2.8.)

**C. Build-to**

C1 Primary street build-to (min/max) 0'/100'

C2 Building width in primary build-to (min) 50%

C3 Side street build-to (min/max) 0'/100'

C4 Building width in side build-to (min) 25%

**D. Height Limitations**

D1 Height limit for frontage (max) 7 stories/90'

**E. Additional Parking Limitations**

E1 A maximum of 2 bays of on-site parking with a single drive aisle is permitted between the building and the street.

**F. Pedestrian Access**

F1 Primary street-facing entrance required (min of 1 per building)

F2 Direct pedestrian access is required from the public sidewalk to the primary street-facing entrance of the building.

**G. Streetscape Requirement**

Main Street; or see Sec. 8.5.2.A.

Mixed Use; or see Sec. 8.5.2.B.

Commercial; or see Sec. 8.5.2.C.

Multi-way; or see Sec. 8.5.2.E.

Parking. see Sec. 8.5.2.F.

The determination of the appropriate streetscape treatment will be made by the Planning and Development Officer, based on the existing built context and character.



CHAPTER 1. INTRODUCTORY PROVISIONS | Article 1.5. Measurement, Exceptions & General Rules of Applicability  
 Sec. 1.5.10. Blank Wall Area

### C. Administrative Alternate Findings

The Planning and Development Officer may in accordance with Sec. 10.2.17, reduce the required transparency, subject to all of the following findings:

1. The approved alternate meets the intent of the transparency requirements;
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans; and
3. The street-facing building facade utilizes other architectural treatments to create visual interest to offset the reduction in transparency.

### Sec. 1.5.10. Blank Wall Area

#### A. Defined

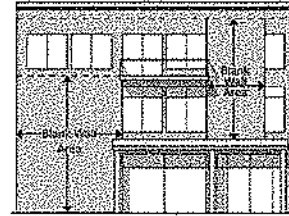
1. Blank wall area means any portion of the exterior facade of the building that does not include a substantial material change; windows or doors; or columns, pilasters or other articulation greater than 12 inches in depth.
2. Substantial material change means a change between materials such as wood, metal, glass, brick, architectural block, stone or stucco. Substantial material change should occur at an inside corner, where feasible. Paint color is not a substantial material change.

#### B. Intent

1. The blank wall area regulations are intended to prevent large, monotonous expanses of undifferentiated building mass.
2. The level of architectural detail should be most intense at the street level, where it is within view of the pedestrians on the sidewalk.

### C. General Requirements

1. Blank wall area applies in both a vertical and horizontal direction.
2. Blank wall area applies to both ground and upper stories.



### D. Administrative Alternate Findings

The Planning and Development Officer may in accordance with Sec. 10.2.17, approve additional blank wall, subject to all of the following findings:

1. The approved alternate meets the intent of the blank wall area regulations;
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans;
3. The increase in blank wall area is offset by additional architectural treatments and increased vertical landscaping; and
4. The amount of blank wall area for buildings located on an Urban Frontage should not be more than 40%.



**Sec. 1.5.8. Pedestrian Access****A. Intent**

1. The street-facing entrance regulations are intended to concentrate pedestrian activity along the street edge and provide an easily identifiable and conveniently-located entrance for residents, visitors and patrons accessing a building as pedestrians from the street.
2. Access points should be located or identified in a manner visible to the pedestrian from the street and be accessible via a direct path.

**B. General Requirements**

1. An entrance installed after September 1, 2013 providing both ingress and egress, operable to residents or customers at all times, is required to meet the street facing entrance requirements. Additional entrances from another street, pedestrian area or internal parking area are permitted.
2. The entrance spacing requirements must be met for each building, but are not applicable to adjacent buildings.
3. An angled entrance may be provided at either corner of a building along the street to meet the street-facing entrance requirements.

**C. Administrative Alternate Findings**

The Planning and Development Officer may in accordance with Sec. 10.2.27, allow a non-street-facing entrance, subject to all of the following findings:

1. The approved alternate meets the intent of the street-facing entrance regulations;
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans;
3. The pedestrian access point is easily identifiable by pedestrians, customers and visitors;
4. Recessed or projecting entries or building elements have been incorporated into the design of the building to enhance visibility of the street-facing entrance; and
5. The pedestrian route from the street and bus stops and other modes of public transportation to the entrance is safe, convenient and direct.

**Sec. 1.5.9. Transparency****A. Intent**

The transparency requirements are intended to lend visual interest to street-facing building facades for both pedestrians and building occupants and minimize blank wall areas. This is not applicable to residential uses.

**B. General Requirements**

1. The minimum percentage of windows and doors that must cover a ground story facade is measured between 0 and 12 feet above the adjacent sidewalk. More than 50% of required the transparency must be located between 3 and 8 feet of the building facade.
2. The minimum percentage of windows and doors that must cover an upper story facade is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper story transparency is measured from the top of the finished floor to the top of the wall plate.
3. In a mixed use building, or general building where an Urban Frontage is applied, a minimum of 60% of the street-facing, street-level window pane surface area must allow views into the ground story use for a depth of at least 8 feet. Windows shall not be made opaque by non-operable window treatments (except curtains, blinds or shades within the conditioned space).
4. Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

